



CITY OF WEST BEND
PLAN COMMISSION
AGENDA • APRIL 3, 2024

Council Chambers
1115 S. Main Street, West Bend, WI 53095

6:00 PM

1. Call to Order - Acknowledgment of Quorum
2. Pledge of Allegiance by the West Bend Plan Commission
3. Approval of Minutes

1. Plan Commission - Regular Meeting - Mar 5, 2024 6:00 PM

4. Development Proposals

A. Conditional Use Permits

1. CU-24-001, public hearing for a request for a Conditional Use Permit to allow for a restaurant/delicatessen in the B-5 Neighborhood Office and Service District located at 411 N. River Road, by Eaton's Fresh Pizza.

Applicant: Eaton's Fresh Pizza
411 N. River Rd.
West Bend, WI

2. CU-24-002, public hearing for a request to amend the existing Conditional Use Permit to operate a food truck located at 575 W. Paradise Drive, by Taqueria Oaxaca.

Applicant: Menard Inc.
575 W Paradise Dr.
West Bend, WI

Agent: Taqueria Oaxaca
575 W Paradise Dr.
West Bend, WI

B. Site Plans

1. SP-23-007, site plan for a 40,000 square foot manufacturing facility located east of River Road and south of Forge Place, by Kettle Moraine Metal Products.

Applicant: Kettle Moraine Metal Products
1020 Schoenhaar Drive
West Bend, WI

Agent: Design 2 Construct
N173W21010
Jackson, WI

C. 2020 Comprehensive Plan

- 1. Discussion and recommendation to set a public hearing for a change in the recommended land use from Commercial, Two-Family Residential, and Multi-Family Residential to Industrial, Single-Family Residential, Two-Family Residential and Multi-Family Residential in the 2020 Comprehensive Plan for the City of West Bend for approximately 19 acres of land located approximately 600' east of S. Main Street, and south of W. Progress Drive by City of West Bend Department of Development.

Applicant: City of West Bend – Department of Development
 1115 South Main Street
 West Bend, WI

Agent: Same

- 2. Discussion and recommendation to set a public hearing for a change in the recommended land use from Institutional to Commercial in the 2020 Comprehensive Plan for the City of West Bend for approximately 2.4 acres of land located at 320 and 340 South 5th Avenue by City of West Bend Department of Development.

Applicant: City of West Bend – Department of Development
 1115 South Main Street
 West Bend, WI

Agent: Same

5. Adjournment

Persons with disabilities requiring special accommodations for attendance at the meeting should contact the City Clerk at least (1) business day prior to the meeting.

NOTICE OF COMMON COUNCIL MEETING

Members of the Common Council may attend the above meeting. Pursuant to State ex rel. Badke v. Greendale Village Board, 173 Wis.2d 553, 494 N. W. 2d 408 (1993) such attendance may be considered a meeting of the Common Council. This notice is given so that members of the Common Council may attend the meeting without violating the open meeting law.



**CITY OF WEST BEND
PLAN COMMISSION
MINUTES • MARCH 5, 2024**

Council Chambers
1115 S. Main Street, West Bend, WI 53095

6:00 PM

1. The March 5, 2024, meeting of the West Bend Plan Commission was called to order by Alderman Jed Dolnick at 6:00 PM., at the Council Chambers.

Commission members present: Jed Dolnick, Paul Fischer, Justice Madl, Max Marechal, Chris Schmidt, Jeff Schloemer, and Scott Schneiberg. Commission members excused: Mayor Joel Ongert and Mike Weston. Staff present: Jay Shambeau, Jessica Wildes, and James Reinke.

2. Pledge of Allegiance by the West Bend Plan Commission
3. Approval of Minutes

Plan Commission – Regular Meeting – February 6, 2024

Upon a motion by Justice Madl, seconded by Chris Schmidt, upon a 7-0 vote, the Plan Commission unanimously accepted the February 6, 2024 minutes.

4. Development Proposals

CSM-24-002, a 2 lot certified survey map located at the northwest corner of Hawthorn Drive, and Westminster Court by Blue Harmony Homes LLC.

James Reinke explained that the two-lot certified survey map (CSM) is located at the northeast corner of Hawthorn Drive and Westminster Court. On November 4, 2020 the Plan Commission approved a CSM to combine the two existing lots. The property has since been sold and the new owner is proposing to redivide the single lot back to two residential lots for development.

Lot 1 is approximately 0.33 acres and Lot 2 is approximately 0.32 acres and both lots are vacant. Both lots are zoned RS-3 Single Family Residential and conform to the zoning requirements for that zoning district. No additional street right-of-way is needed for either Hawthorn Drive or Westminster Court. Lot 1 has street access to Westminster Court and Hawthorn Drive. Lot 2 has street access to Hawthorn Drive. Sanitary sewer and water lateral exist for both lots. Lot specific grading plans have been submitted for both lots and are being reviewed by Staff. These grading plans will be used for the building permits and storm water management review. A storm water management plan will need to be submitted and approved prior to the issuance of the building permit.

Upon a motion by Justice Madl, seconded by Scott Schneiberg, the Plan Commission unanimously approved the CSM with the following conditions:

1. Revision of the CSM to incorporate technical corrections prior to recording the CSM.
2. Approval of an amendment to the storm water management plan prior to the issuance of a building permit.

CSM-24-003, a 2 lot certified survey map located at the southwest corner of E. Decorah Road and Sand Drive, by Iron Horse Commons.

Minutes Acceptance: Minutes of Mar 5, 2024 6:00 PM (Approval of Minutes)

James Reinke explained that the two-lot certified survey map (CSM) is located at the southwest corner of E. Decorah Road and Sand Drive. The purpose of the CSM is to create two lots for redevelopment.

Lot 1 is approximately 1.9 acres and contains three existing buildings that will be demolished for the redevelopment of the lot for a multi-family development. Lot 2 is approximately 4.8 acres and is vacant and will be redeveloped for a townhouse style multi-family development. Both lots are zoned MXD Mixed Use District and conform to the zoning requirements for that zoning district. No additional street right-of-way is needed for E. Decorah Road. The CSM dedicates the 40' western half right-of-way for Sand Drive. Lot 1 has street access to Decorah Road and Sand Drive. Lot 2 has street access to Sand Drive. Sanitary sewer and water will be extended south in Sand Drive from the existing utilities in E. Decorah Road by City contract.

Upon a motion by Justice Madl, seconded by Chris Schmidt, the Plan Commission, upon a 7-0 vote unanimously approved of the CSM with the following conditions:

1. Revision of the CSM to incorporate technical corrections prior to recording the CSM.
2. Approval of the Certified Survey Map by the Common Council accepting the Sand Drive right-of-way.

SP-24-002, site plan for 8 multi-family buildings, consisting of 51 units located south of E. Decorah Road and on the west side of Sand Drive, by Iron Horse Commons.

James Reinke explained that Iron Horse Commons has submitted a site plan for a 51 unit multi-family redevelopment consisting of eight buildings located on the west side of Sand Drive and approximately 300 feet south of E. Decorah Road. A certified survey map has been submitted for consideration on this agenda creating two lots for this development and one to the north. This development will benefit Tax Increment District #16.

Zoning:

- The 4.8-acre site is zoned MXD, Mixed Used District.
- The residential density, building heights, lot coverage, and open space conform to the zoning requirements for both sites.
- A screened refuse area is not proposed, and all refuse containers will be kept within the garages.

Parking\Access:

- Two driveway connections are proposed for the development on Sand Drive.
- Each building unit will have four parking stalls (2 in the garage and 2 in the driveway). An additional 25 standard parking and 2 barrier-free parking stalls are provided in the surface parking lot.
- Pedestrian access is provided into the property from the adjacent public sidewalks for the

development.

- A Traffic Impact Analysis has been submitted as a part of the development and is being reviewed by the Engineering Department.

Lateral Service\Utilities:

- Two sanitary sewer lateral connections will be extended from the proposed sanitary sewer in Sand Drive. As a part of the Sand Drive reconstruction, the City will be installing sanitary sewer, water and storm sewer within the right-of-way.
- The water lateral connections are proposed to serve the development. These laterals will be extended from the future water main in Sand Drive.
- Storm sewer will be installed within the site and will discharge to the storm water management pond located at the northwest corner of the site.

Grading\Storm Water Management:

- A storm water management plan is required, and the Engineering Department has been working with the developer for those requirements. Prior to the issuance of a building permit, the storm water management plan must be approved.
- The site grades have been designed to drain the site to various catch basins located throughout the site. The storm water will then be directed by storm sewer to the storm water management pond at the northwest corner of the site. The perimeter of the site will sheet drain to the property lines.

Site Lighting:

- The site lighting consists of LED light fixtures mounted on 20' tall light poles and bases in the parking lot drive aisle areas.
- Staff has no lighting concerns.

Landscaping:

- Foundation plantings, parking lot islands and site plantings are provided for the development.
- Staff finds the landscaping to be acceptable.

Architectural Building Elevations:

- The building materials for the development consists of Hardiplank or LP Smartside lap siding, Board and Batton, Staggered shake siding and brick. The colors will vary throughout the building and include White, Pearl Gray, Countrylane Red, and Aged Pewter. The roofs will have dimensional fiberglass shingles.
- Staff finds the building materials and colors to be acceptable.

The Plan Commission discussed the site plan.

Justice Madl stated that he does not have any specific concerns pertaining to the development but wanted to verify that the current market can support additional multi-family residential units.

Jim Emmer from Iron Horse Commons, the developer, located at 4508 Dollar Drive, West Bend, WI 53095 reassured Commissioner Madl that the appropriate market studies were completed and the additional residential units are warranted.

Jed Dolnick had several questions pertaining to the Traffic Impact Analysis (TIA) and the impact on the intersection at E. Decorah Road and Sand Drive.

Max Marechal, City Engineer responded to Commissioner Dolnick's questions explaining that the TIA is currently under review and he will be contacting the Traffic Engineer for clarifications to the report and requesting additional information. Currently the TIA does not require any modifications to the intersection or requires traffic lights. Those requirements may change depending on the outcome from the additional information needed. Max recommended that an additional condition of approval be added to the site plan approval including approval of the TIA and any necessary traffic improvements be constructed if warranted by the TIA.

Paul Fischer questioned the downspout discharges and the air conditioner locations.

James Reinke responded to Commissioner Fischer that the downspouts will be piped and directed to the storm water management facilities and the air conditioner location were acceptable and appropriate for this development.

Jed Dolnick had questioned the additional multi-family uses and clarification on the uses within the zoning district for this area.

James Reinke responded that during the discussions and approval of the City of West Bend 2020 Comprehensive Plan change and the rezoning of the properties, the Mixed Use land use and Mixed Use zoning would permit uses ranging from residential to commercial. These land uses and permitted zoning uses would best facilitate the redevelopment of the area.

Jed Dolnick questioned how the timing of this development will coincide with the reconstruction of Sand Drive.

Max Marchal stated that the reconstruction is to take place this spring\summer and the Engineering Staff has been working with the developer for the coordination of the utilities and driveway locations.

Justice Madl made a motion to approve with the listed conditions and added an additional condition requiring approval of the Traffic Impact Analysis (TIA) by the City Engineer and require any street improvements as required by the TIA.

Max Marechal seconded this motion.

Upon a motion by Justice Madl, seconded by Max Marechel, with Paul Fischer objecting, the Plan Commission, upon a 6-1 vote, approved the site plan with the following conditions:

1. Submission and approval of an erosion control plan prior to any land disturbing activities and prior to the issuance of a building permit.
2. Provision of a landscape bid and adequate surety prior to the issuance of a building permit.
3. Approval of a storm water management plan prior to the issuance of a building permit.
4. Revision to the site plan to incorporate technical corrections and revise the plans to be consistent with the storm water plan approval.
5. All refuse containers must be within the building, or a screened refuse area must be provided.
6. Submittal to and approval by the City Engineer of a Traffic Impact Analysis for E. Decorah Road and Sand Drive including any required road improvements.

SP-24-003, site plan for a 78-unit apartment building located at southwest corner of E. Decorah Road and Sand Drive, by Decorah Flats.

James Reinke explained the site plan for a three story 78-unit apartment building located at the southwest corner of Sand Drive and E. Decorah Road for Decorah Flats. A certified survey map has been submitted for consideration on this agenda which creates this redevelopment lot. This development will benefit Tax Incremental District #16.

Zoning:

- The 1.9 acre site is zoned MXD, Mixed Used District.
- The 78 dwelling units within the 1.9 acres exceeds the density as permitted by right within the zoning district. The Plan Commission may modify the density requirement consistent with good site development planning. It is staff's opinion that the increased density does not have a negative impact to the area and is consistent with other developments within the area.
- The building heights, lot coverage, and open space conform to the zoning requirements.
- No screened refuse area is proposed. All trash receptacles will be placed within the building and rolled out on collection days and then returned inside.

Parking\Access:

- Two driveway connections are proposed for the development. One driveway access is on E. Decorah Road and serves the in-building parking. The second driveway access is on Sand Drive for the surface parking lot.
- 48 standard parking stalls and two barrier-free parking stalls are provided in the surface parking lot. An additional 54 standard and five barrier-free underground building parking stalls are also provided. A total of 109 parking stalls are identified for the development. On-site parking is not required in the MXD zoning district, but based on the residential use and needs of the development, site specific parking is being provided. Staff finds the parking stall quantities to be acceptable.

- A Traffic Impact Analysis has been submitted as a part of the development and is being reviewed by the Engineering Department.
- Pedestrian access is provided into the property from the adjacent public sidewalks.

Lateral Service\Utilities:

- Sanitary sewer and water mains will be constructed by the City as a part of the reconstruction of Sand Drive. A sanitary sewer lateral and water lateral will be extended from the public mains.
- Storm sewer will be installed within the site and will discharge to the storm sewer in Sand Drive.

Grading\Storm Water Management:

- A storm water management plan is required, and the Engineering Department is working with the developer to fulfill the requirements. Prior to the issuance of a building permit, the storm water management plan must be approved.
- The site grades are designed to sheet drain the majority of the site to the north and east sides of the development. The south side of the site and the roof will drain south to the storm water pond on the adjacent lot. The west side sheet drain to the property line.

Site Lighting:

- The site lighting consists of LED light fixtures mounted on 20' tall light poles and bollards in the parking lot.
- Staff has no lighting concerns.

Landscaping:

- Foundation plantings, parking lot islands and site plantings are provided throughout the development. Staff finds the landscaping to be acceptable.

Architectural Building Elevations:

- The building materials will consist of "Black Opal" brick, "Iron Gray" Hardie plank horizontal siding, "Light Fur" longboard wood grain siding accents around the patio doors, "Pearl Gray" and "Night Gray" Hardie panels, and "Custom Bright Yellow and "Custom Black" accent panels. Pre-finished metal railings will be used throughout for the porches.
- Staff finds the architectural building elevations to be acceptable.

The Plan Commission discussed the site plan.

Brendan Sullivan, the representing agent for Decorah Flats was present to answer any questions that the Commission may have.

Justice Madl questioned if the Traffic Impact Analysis (TIA) has been reviewed.

Max Marechal responded that the TIA has been submitted and is under review. The TIA included both developments proposed on the west side of Sand Drive south of E. Decorah Road. The TIA also took into consideration the development being constructed further south on Sand Drive.

Jed Dolnick asked staff what the difference between the permitted units per acre and the request for the design exception for the proposed 78 units.

James Reinke responded that the permitted density for the 1.9 acres is 58 units and the developer is requesting an exception for 78 units to offset the development costs on the property. Reinke stated that the density request is not out of the ordinary and is consistent with other redevelopments. Staff feels that the density request is appropriate for the area to ensure the redevelopment of the area.

Justice Madl asked about what other developments where an exception was granted and James Reinke responded that the HKS development had an exception granted. Jed Dolnick then asked if the exception for HKS was higher or lower than this exception. Reinke responded that he believed HKS was much higher.

Jed Dolnick questioned the landscape plan and the lack of greenery and separation between the development and the Eisenbahn Trail. Reinke responded that there is a physical grade change between the trail and the development and the majority of the green space is slope or storm water management facilities.

Paul Fischer commented on the amount and timing of traffic at the intersection for E. Decorah and Sand Drive especially at the times of the start and ending of the high school and the need for traffic signals.

Max Marechal responded that according to the initial recommendations of the TIA, traffic signals are not warranted at this time. Marechal did state that further discussions with the traffic engineers are needed to understand the assumptions of the TIA and additional modifications may be needed after those discussions.

Paul Fischer asked who would be responsible for installation of the traffic lights if they were warranted. Jay Shambeau stated that the Tax Increment Finance District for #16 did have a Project Plan line item for possible traffic lights and the installation would be financed through the TIF and the increment generated from the district would help pay for those improvements if warranted.

Justice Madl made a motion to approve with the listed conditions and added an additional condition requiring approval of the Traffic Impact Analysis (TIA) by the City Engineer and require any street improvements as required by the TIA.

Upon a motion by Justice Madl, seconded by Max Marechal, the Plan Commission unanimously approved the site plan with the following conditions:

1. Submission and approval of an erosion control plan prior to any land disturbing activities and prior to the issuance of a building permit.

2. Provision of a landscape bid and adequate surety prior to the issuance of a building permit.
3. Approval of a storm water management plan prior to the issuance of a building permit.
4. Revision to the site plan to incorporate minor technical corrections and revise the plans to be consistent with the storm water plan approval.
5. All refuse containers must be within the building or a screened refuse area.
6. Approval of the certified survey map creating the lot.
7. Submittal to and approval by the City Engineer of a Traffic Impact Analysis for E. Decorah Road and Sand Drive including any required road improvements.

CSM-24-004, a 2 lot certified survey map located at the southeast corner of S. Main Street and W. Progress Drive, by Brickner Progress Properties, LLC.

James Reinke explained the two-lot certified survey map (CSM) located at the southeast corner of South Main Street and West Progress Drive. The purpose of the CSM is to create two lots for development.

Lot 1 is approximately 1.4 acres. The buildings that previously existed on the lots have been razed for future redevelopment of that lot. Lot 2 is approximately 2.2 acres and vacant. Both lots are zoned M-3 Planned Business Park District and both lots conform to the zoning requirements for that district. 50.01' of street right-of-way is being dedicated for South Main Street. This dedication is consistent with the City's Official Map. No additional right-of-way is required for West Progress Drive. Lot 1 will have street access to South Main Street and West Progress Drive. Lot 2 has street access to West Progress Drive. Sanitary sewer and water exist in South Main Street and West Progress Drive to serve the two lots.

Upon a motion by Chris Schmidt, seconded by Justice Madl, the Plan Commission unanimously approved the CSM with the following conditions:

1. Revision of the Certified Survey Map to address minor technical corrections prior to recording.
2. Approval of the Certified Survey Map by the Common Council accepting the S. Main Street right-of-way.

SP-24-004, site plan for 4 industrial buildings containing 16 units located on the south side of W. Progress Drive, east of S. Main Street, by Brickner Progress Properties LLC.

James Reinke explained that the site plan is for four 7,200 sq. ft. multi-tenant industrial buildings located on the south side of W. Progress Drive.

Zoning:

- The 2.2 acre parcel is zoned M-3, Planned Business Park District.
- The building height, lot coverage, and open space conform to the zoning requirements.
- A screened refuse area is not proposed and all refuse containers will be required to be stored within the building unit.

Access and Parking:

- Access to the site will be from a single driveway from W. Progress Drive.
- 46 standard and 4 barrier free parking stalls are provided for the development. Industrial

parking requirements are based on the number of employees of the largest works shift. The developer has provided parking based on the potential uses of each building. Staff finds the parking to be acceptable.

- Curb and gutter are provided along the driveway entrance along the northern entrance into the site.

Laterals or Utility Services:

- Sanitary sewer and water laterals will be extended from W. Progress Drive to serve the buildings.

Storm Water / Grading:

- A storm water management plan has not been submitted and the developer is working with the Engineering Department on the submittal. Prior to the issuance of the building permit, the storm water management plan amendment must be approved.
- The site grades have been designed to drain generally to the center of the development and then the storm water is collected in storm sewer and directed to the two storm water ponds on the north end of the site. The areas along the west and east sides of the site will drain south and then east.
- All of the downspouts will be connected to the storm sewer system and directed to the storm water ponds.
- The grading plan identifies an area of wetland fill at the southeast corner of the site for a portion of building 2 and building 4. Prior to site grading, the wetland delineation must be approved by the DNR and a wetland fill permit must be obtained from the DNR and a Conditional Use Permit must be approved by the Plan Commission prior to site grading and filling of the wetlands.

Site Lighting:

- The site lighting consists of LED wall mounted light fixtures over each door.

Landscaping:

- The landscape plan identifies foundation plantings along the north side of the building by the entrance driveway. The plantings are also provided throughout the site.
- Adequate landscape surety and a professional bid are required before issuance of a building permit.

Architectural Building Elevations:

- The building materials consist of 4' high gray colored cultured brick veneer along the north sides of the building ends and on the sides of the building where the overhead and service doors are located. The remaining portions of the walls will be a "Gallery" (blue) colored metal siding. The roof will be "Charcoal" colored metal roof.
- Staff finds the architectural building elevations to be acceptable.

The Plan Commission reviewed the site plan.

Justice Madl questioned what the development is specifically going to be. James Reinke clarified the uses within the development will be multi-tenant buildings used for light industrial purposes.

Upon a motion by Chris Schmidt, seconded by Jed Dolnick, the Plan Commission unanimously

approved the site plan with the following conditions:

1. Submission to and approval by the City Engineer of a Storm Water Management Plan amendment prior to the issuance of a building permit.
2. Revision the site plan to incorporate minor technical corrections and any storm water management plan revisions.
3. Approval of the wetland delineation and wetland fill by the DNR and the issuance of a Conditional Use Permit prior to site grading.
4. Submission and approval of an erosion control plan prior to issuance of a building permit.
5. Provision of a landscape bid and adequate surety prior to issuance of a building permit.

SP-24-001, a site plan for a 40,000 sq. ft. building addition and parking lot addition located at 2151 N. Main Street, by Moraine Park Technical College.

James Reinke explained that the site plan is for a 40,000 sq. ft. building addition for the Advanced Manufacturing Center located at the northeast corner of Moraine Park Technical College (MPTC) building. The addition will extend to the north from the existing 2011 Tool and Die addition. Building renovations are also proposed as a part of the project.

Zoning:

- The 48 acre parcel is zoned I-1 Institutional and Public Service District. The building additional conforms to all zoning requirements for I-1.

Access and Parking:

- The existing parking lot north of the building addition will be reconstructed and reconfigured to accommodate the addition. 465 standard parking stalls and 24 barrier free parking stalls are proposed for the site. The zoning code requires 1 parking stall per every two students at the largest class attendance period and one parking stall per teacher and staff member. Planning Staff has no parking concerns.
- Access to the site has not changed and no additional driveways or drive aisles will be created. The existing drive aisle along the west side of the building have been relocated around the building renovation.

Laterals or Utility Services:

- Sanitary sewer and water laterals exist throughout the site and any sewer or water needs will be extended from existing lines on the site.

Storm Water / Grading:

- A storm water management plan amendment is needed and the developer and the Engineering Department have been working on those requirements. Prior to the issuance of the building permit, the storm water management plan amendment must be approved.
- The site grades have been designed to sheet drain generally to the northwest and northeast towards new and existing storm water ponds. Storm sewer will collect certain paved areas and convey the storm water to the storm water ponds.

Signage:

- Wall signs are identified on the north and west walls for the campus. Separate sign approvals for the two signs are required prior to any sign installation. Staff has no concerns

pertaining to the sign locations.

Landscaping:

- The landscape plan identifies foundation plantings along the west, north and east sides of the building, parking lot landscaping and overall site landscaping has been provided. Staff finds the landscaping to be acceptable.
- Adequate landscape surety and a professional bid are required before issuance of a building permit.

Architectural Building Elevations:

- The architectural building elevations identify the building addition materials to be a combination of brick matching the existing building, “Bone White” colored corrugated metal panels and composite aluminum wall panels and “Charcoal” colored metal corrugated metal wall panels. Blue accents will be used by the Advanced Manufacturing entrance.
- Planning Staff finds the architectural building materials to be acceptable.

Upon a motion by Justice Madl, seconded by Jeff Schloemer, the Plan Commission unanimously approved the site plan with the following conditions:

1. Submission to and approval by the City Engineer of a Storm Water Management Plan amendment prior to the issuance of a building permit.
2. Revision of the site plan to incorporate minor technical corrections and storm water management plan revisions.
3. Submission and approval of an erosion control plan prior to issuance of a building permit.
4. Provision of a landscape bid and adequate surety prior to issuance of a building permit.

5. Adjournment

at 6:42PM

Jay Shambeau, Interim Director
Department of Community Development

Dated, this 28th day of March, 2024.



MEMORANDUM

To: Plan Commission

From: James Reinke, Business & Development Planner

Date: March 28, 2024

Subject: CU-24-001, public hearing for a request for a Conditional Use Permit to allow for a restaurant/delicatessen in the B-5 Neighborhood Office and Service District located at 411 N. River Road, by Eaton's Fresh Pizza.

Corey Faust and Peter Kapler have submitted a conditional use permit application for consideration to allow for the use of a restaurant/delicatessen in the B-5 Neighborhood Office and Service District. A conditional use permit is required to operate a restaurant/delicatessen in accordance with 17.29(3)(f) and (p) of the City's Zoning Code. The conditional use permit is required for the restaurant use to ensure that there is appropriate parking, site circulation and the impact to the neighborhood.

The parcel is zoned B-5 Neighborhood Office and Service District. The building will be split into two separated tenant units. The south half will be used for Eaton's Pizza and the north half will be used for Thrivent Financial. Both tenants will utilize the existing parking lot located at the north end of the site. Access to each unit will be separated. Thrivent customers will access the building from the northwest and Eaton's from the southeast. Building permits will be required for the building renovations.

An operations letter has been provided from the owner describing the business operations as follows:

- The hours of operation will be 11am to 8pm daily.
- The on-site parking lot will be utilized for both uses.
- It is anticipated to have 50-150 customers per day.
- The peak times for Eaton's will not interfere with the peak times of Thrivent for the parking demands and adequate parking is provided on-site.
- Deliveries will be conducted on site and all truck turning will be completed on-site.
- Building alterations are required and the appropriate building permits will be required prior to the start of construction.
- Future site plans will be required for changes to the parking lots and any exterior building alterations.

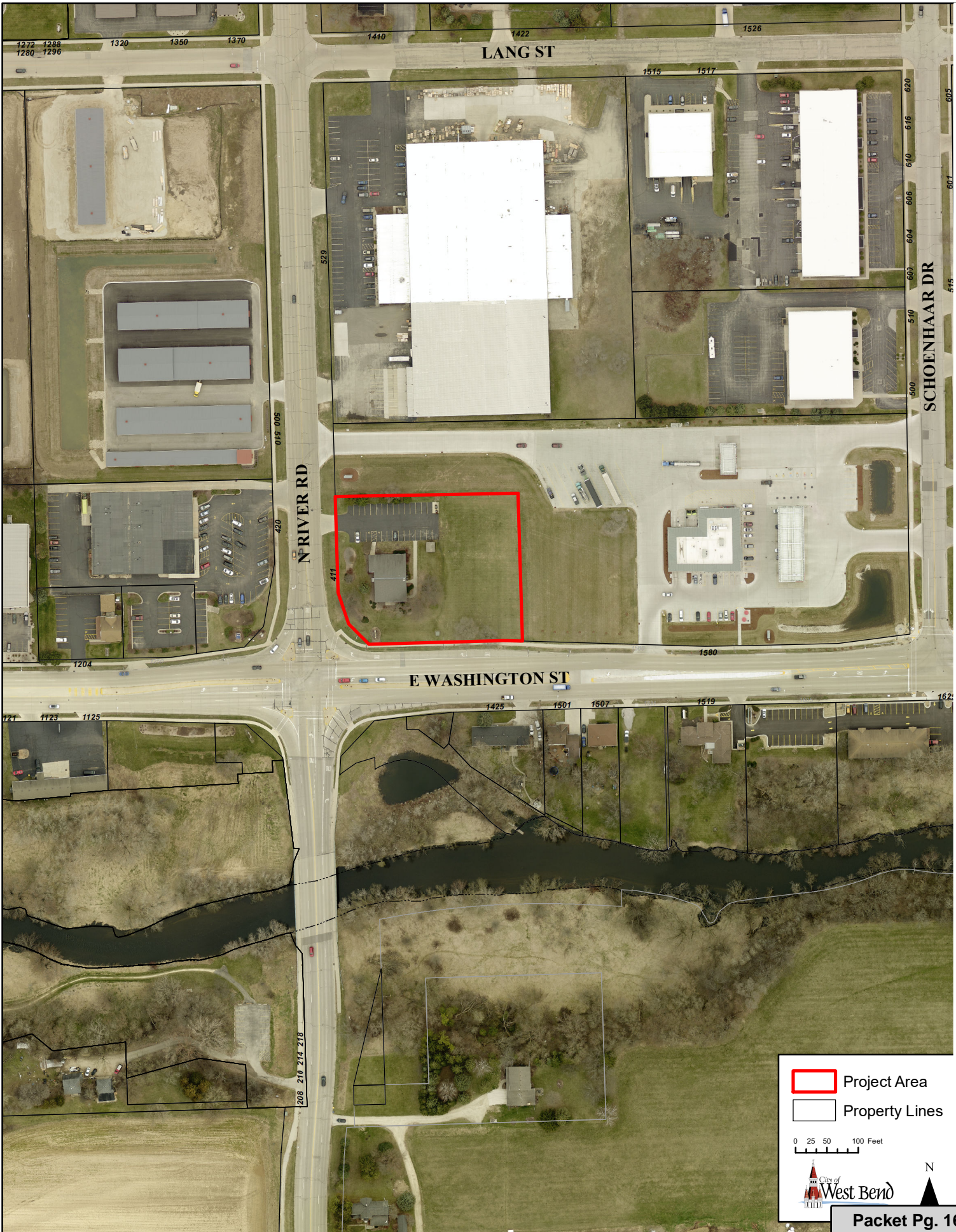
All property owners located within 200' of the conditional use permit area were notified of the public hearing, and as of this date, staff has received no comments or inquiries.

Staff has reviewed the operations letter and the impacts to the neighborhood and finds the use to be acceptable given the existing site improvements and the surrounding commercial and industrial uses within the neighborhood.

Staff would recommend approval of the conditional use permit with the following conditions:

1. All operations shall be in accordance with the operations letter provided by the owner.
2. Prior to any renovations, all appropriate building permits shall be obtained.
3. Site plan approval is required prior to any future site improvements being constructed.

pc: Corey Faust and Peter Kapler



Attachment: CU-24-001_map (CU-24-001 Eaton's Pizza)

Eaton's Fresh Pizza
Department of Development

Business Plan:

Eaton's Fresh Pizza is seeking to move to the location at 411 N. River Road in West Bend. We plan to split the building with Peter Kapler of Thrivent Financial. Eaton's is known for its take & bake pizzas, strong community involvement, and creating a positive work environment for first-time employees. Moving to this location will keep the business on the East side of town nearly the same distance from the High School.

Operation hours:

Hours of operation will be 11 AM – 8 PM daily. Truck deliveries will occur before these hours, semi trailers will be able to turn around in our own parking lot. If additional space is needed, we are prepared to add on to the existing lot see attached parking lot plan for additional parking lot for semi-tractor trailer.

Parking:

There are 30 parking places in the parking lot. Our staff will need 4 spots during the day, and 5 at night. Thrivent will need up to 10 total at their busiest times from 8am – 5 pm. Thrivent and Eaton's busiest times never overlap, thus why we sought out this address together.

Customers:

At our busiest time of the we serve between 50 – 150 customers per day, with this foot traffic spread out over the 8 -9 hours of operation. Sixty percent of our orders are called in or done online, with the average transaction taking less that 3 minutes. Also, the majority of our busiest times are nights and weekends when Thrivent is not in the office, so customers will have access to the entire lot during Eaton's most busy times.

Signage:

We have intentions to repurpose and utilize the existing sign on River Road. We also intend to reuse the signs on our current building fronts. When in the parking lot, Thrivent will be located on the West side of the building and Eatons will be on the East. Signs will point customers into the right spot. Plans attached for signage.

Additional permits:

We will need Health inspection permit.

Garbage fence structure in need of a Recycling bin and Garbage

Electrical permit, Eaton's plans to add on an additional electrical box to split electric use between tenants

Plumbing permit, splitting bathroom, adding mop sink & dish washing

Property Restrictions

Currently there is not a through road. Additional parking lot space may be needed for ease of customers access. Creating a connection to Kwik Trip, or an additional parking lot to the East may need to be added for trucks to turn around.

Marketing

In June of 2018 I reopened Eaton's Fresh Pizza in West Bend. Our marketing plan encompasses a thriving Social Media presence, offering VIP status to returning customers, calendar specials, support of community programs, such as the library, and fundraising support for local organizations. Eaton's of West Bend earned the "New Small Business of the Year" award from the Chamber of Commerce in 2019 due to our commitment to supporting the community.

Special equipment/ materials

As Eaton's sells take and bake pizzas, we do not have additional needs other than garbage and recycling bins.

Planned renovations attached.

We plan to split the building footage nearly 50/50 between Eatons on the southside and Thrivent on the north. No external additions are planned. We do plan to remove all the walls on the South side of the building (Eaton's side) and reseal the walls to minimize smells and noise. While HVAC unit in the building has already been divided, some duct work will need to be repositioned, so that it goes into the correct area.

Eaton's has been looking for a permanent location for over 3 years. We are excited to take advantage of this fantastic opportunity with Peter Kapler and Thrivent to continue to serve our community.



33520 S. RIVER ROAD
WEST BEND, WI 53591
TEL: 608-834-9000 FAX: 608-834-4008

Heitzel & Nelson LLC
411 N. RIVER ROAD
CITY OF WEST BEND, WASHINGTON COUNTY

Permit Drawing
04/10/14
Document Date
10 APRIL 2014
Project Number
14017
Sheet Title
FLOOR PLAN
Sheet Number
A-101

remove bookshelves.

new wall, two offices

interior storefront windows and doors

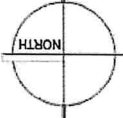
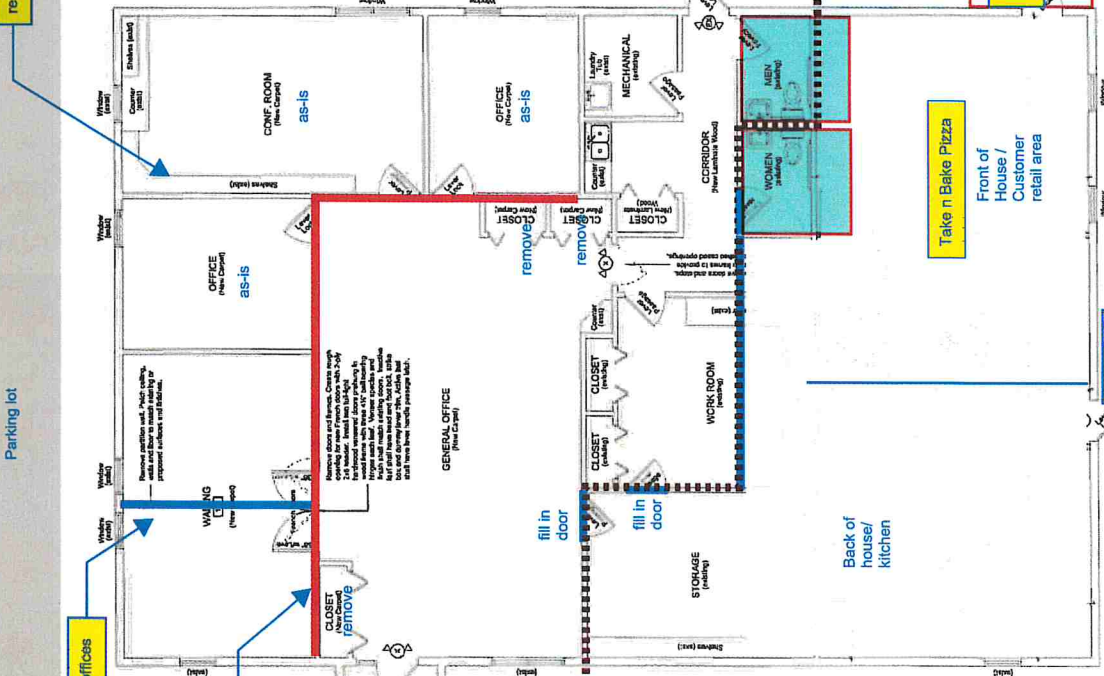
Customer Entry

Take n Bake Pizza

Front of House / Customer retail area

Deliveries

Parking lot



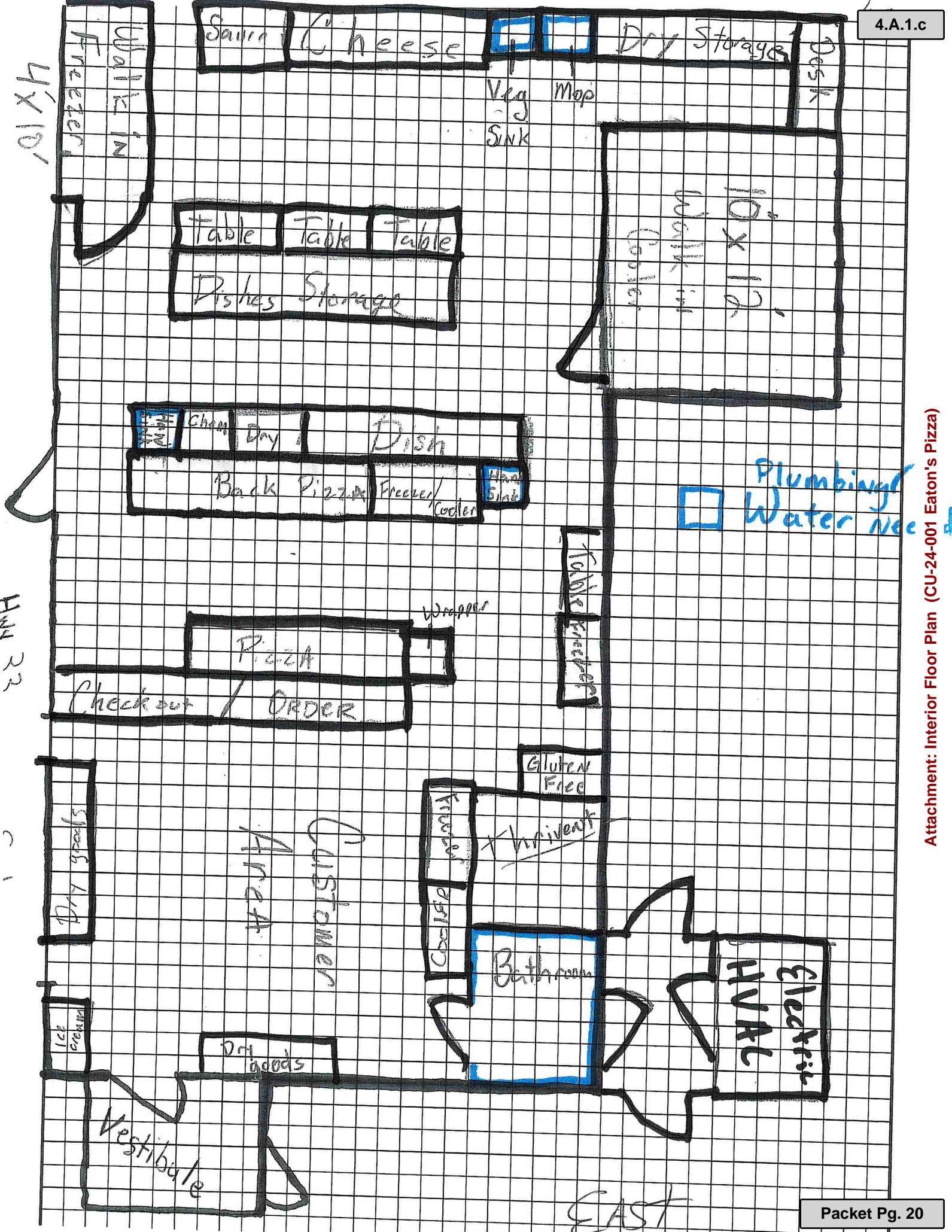
1/4" = 1'-0"

FLOOR PLAN

Thrivent

Eaton's
Fresh
Pizza

Attachment: Interior Floor Plan (CU-24-001 Eaton's Pizza)



Attachment: Interior Floor Plan (CU-24-001 Eaton's Pizza)



MEMORANDUM

To: Plan Commission

From: James Reinke, Business & Development Planner

Date: March 28, 2024

Subject: CU-24-002, public hearing for a request to amend the existing Conditional Use Permit to operate a food truck located at 575 W. Paradise Drive, by Taqueria Oaxaca.

On July 10, 2018 the Plan Commission conditionally approved the conditional use permit for a mobile food truck vendor located in the Menards parking lot at 575 W. Paradise Drive.

Jason Morales of Taqueria Oaxaca on behalf of Menards is requesting an amendment to the conditional use permit for a mobile food truck operation to located at 575 W. Paradise Drive. The property is zoned B-1 Community Business District.

A layout sketch and a revised business operations letter outlining the activities has been submitted. The sketch and letter characterize the operations as follows:

- The sales area will remain in the same location at the northeast side of the building in the parking lot area (as identified in pink on the map included).
- The hours and days of operations are proposed to be from 8:00 am to 9:00 pm Monday through Saturday and 8:00 am to 8:00 pm on Sunday. The operations would be year-round. This is an amendment from the original hours and days of operations (May-October form 11:00 AM-6:00 PM on days Menards is open) as previously approved. The amended proposal of the food truck hours of operation coincides with the hours of operations of the main business.
- It will be the responsibility of the food truck to dispose of and clean up the area after they are done.
- On-site electricity will be utilized for the food truck.
- No additional site signage is being proposed. If signage is desired, approval of the appropriate signage will be required.

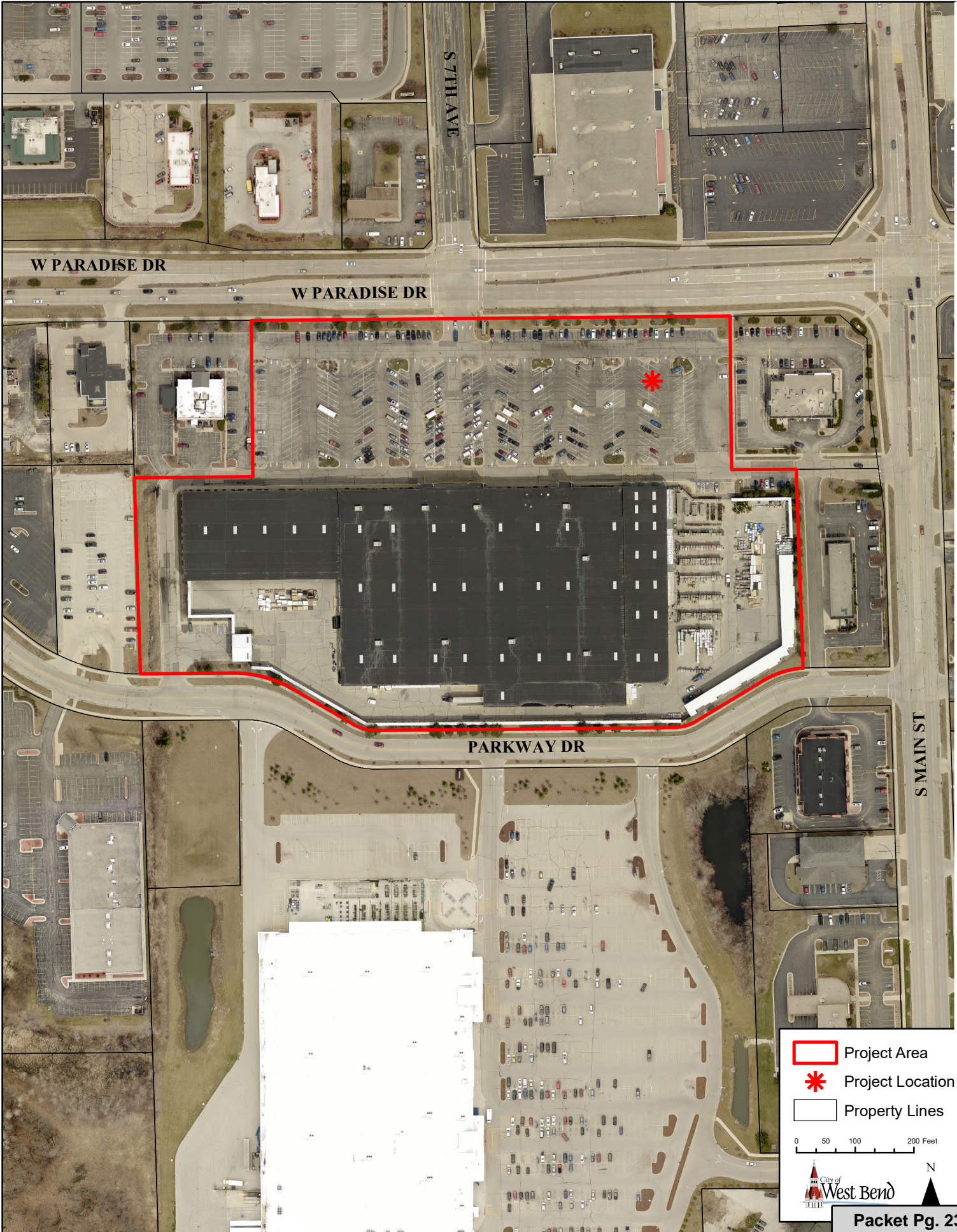
Staff has reviewed the request and feels that the mobile food vendor use would be acceptable in the location proposed and the mobile food vendor would not interfere with the daily operations of the building.

All owners of property located within 200' of the conditional use permit area have been notified of the public hearing. As of this date, staff has not received any inquiries, comments or concerns pertaining to the use.

If the Plan Commission finds the conditional use to be acceptable, Staff would recommend approval of the conditional use permit with the following conditions:

1. All refuse shall be removed from the site at the end of the day.
2. The truck shall be located on the northeast side of the building in the parking lot in accordance to the proposed site plan layout.
3. All food trucks shall be on an intermittent basis and removed off site each day in accordance with 17.44 (111.5).
4. All operations of the mobile food vendor shall be consistent with the operations letter.
5. All mobile food vendors may only operate during the operating hours of Menards when the building is open.
6. No additional sign shall be utilized without prior approval.

pc: Jason Morales, Taqueria Oaxaca, LLC
Thomas O'Neil, Menards Inc. Property Division.



Attachment: CU-24-002_Loc (CU-24-002 Menards)

Ford, Angela

From: Jason Morales <Jason.morales321@hotmail.com>
Sent: Monday, March 11, 2024 2:26 PM
To: Ford, Angela
Subject: Operation letter

Jason Morales
 Taqueria Oaxaca LLC
 West Bend, WI

To the city of West Bend

I'm writing to ask for a change to the conditional permit so that I can park in the Menards parking lot located in the city of West Bend at 575 W. Paradise Drive.

Taqueria Oaxaca is a family-run restaurant serving traditional Mexican fare such as quesadillas, burritos, and tacos. As Menards operates from 8 a.m. to 9 p.m from Monday through Saturday . For Sunday we'll operate from 8 am to 8 pm. we are excited to be able to operate inside their parking lot during those hours for a year round.

We adhere to all safety, hygienic, and health regulations with our food truck. The food truck has two fire extinguishers in case of an emergency and a functional sink that is solely used for hand washing.

We have a lease / agreement with Menards. Our food truck is powered by electricity provided by Menards. We do not use a generator.

We are accountable for the garbage that surrounds our property. At the conclusion of each day, we will take all of the trash bags with us. Every night, the food truck will be removed from the establishment, and it won't ever be left alone.

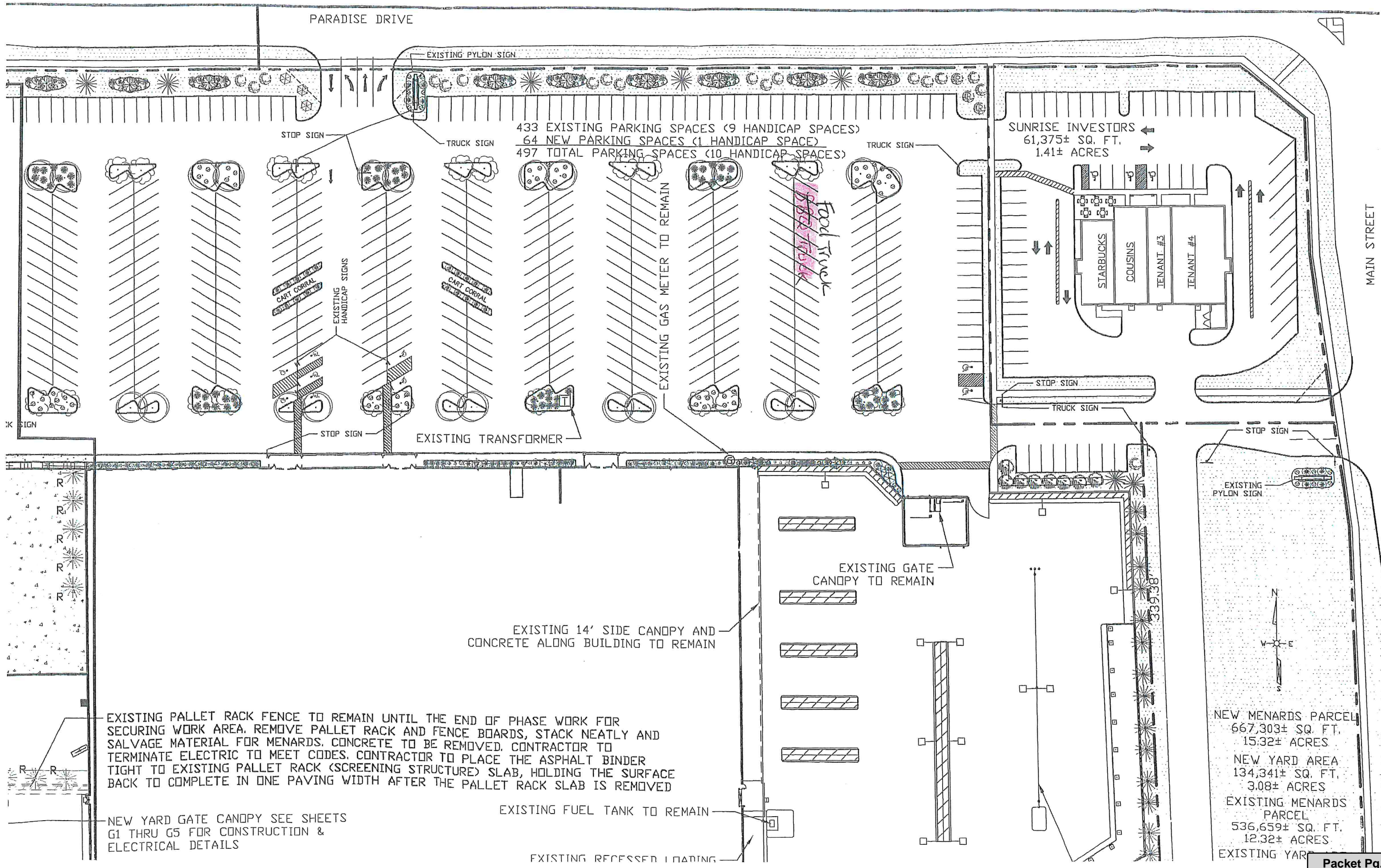
Inside our food truck we consist of four employees. We collaborate as a team to give our customers excellent service and high-quality meals. Our staff members will utilize the Menards restroom for essentials.

Thank you for your time.

Sincerely,

Jason Morales
 Phone number (414)841-9912

Attachment: Operation's Letter (CU-24-002 Menards)



Attachment: Food Truck Site Location Map (CU-24-002 Menards)



MEMORANDUM

To: Plan Commission

From: James Reinke, Business & Development Planner

Date: March 28, 2024

Subject: SP-23-007, site plan for a 40,000 square foot manufacturing facility located east of River Road and south of Forge Place, by Kettle Moraine Metal Products.

The Plan Commission previously approved a site plan for 75,000 sq. ft. industrial building on May 2, 2023. Kettle Moraine Metal Products has submitted a revised site plan for a 40,000 sq. ft. industrial building for metal fabrication and office facility located on the south side of Forge Place. This development will benefit Tax Incremental District #14.

Zoning:

- The 9 acre parcel is zoned M-2, Heavy Industrial District.
- The building height, lot coverage, and open space conform to the zoning requirements.
- A light gray precast concrete screened refuse area is proposed at the southwest corner of the building.
- An open air metal storage bin area is proposed on the south side of the building east of the screened refuse area.
- The site plan layout identifies a future expansion of the parking area north of the building, and building additions to the east and south. Future approvals of the expansion areas will require separate approvals.

Access and Parking:

- A single driveway access to Forge Place is proposed to the site. The driveway will serve both as an employee entrance and as a truck access.
- 32 standard parking stalls and two barrier-free parking stalls are provided. The parking quantity is determined by the largest work shift. The site plan also identifies a future parking lot addition of 28 stalls.
- Curb and gutter is provided within all publicly accessible driveways and parking areas.
- The loading docks have been relocated from the south side of the building to the southwest corner of the building.

Laterals or Utility Services:

- Sanitary sewer and water laterals will be extended from Forge Place.

- Storm sewer will be installed within the site and will discharge to the storm water pond to the west of the development.

Storm Water / Grading:

- A storm water management plan has not been submitted at this time but the storm water concepts have been designed to direct storm water to the regional pond to the west. Prior to the issuance of a building permit, the storm water management plan must be approved.
- The site grades have been designed to drain generally to the south and west to the storm water management facilities.

Site Lighting:

- The site lighting consists of LED wall mounted light fixtures, bollard lighting and LED light fixtures mounted on 23' tall light poles in the parking lot.
- Staff has no lighting concerns.

Signage:

- The architectural building elevations identify a wall sign on the north, south and west sides of the building. Staff has no concerns with the location of the signs. The exact sign sizes are not identified but will need to be provided and verified for compliance at the time of the sign permit submittals.

Landscaping:

- The landscape plan identifies foundation plantings, parking lot landscaping and site plantings.
- Adequate landscape surety and a professional bid are required before issuance of a building permit.

Architectural Building Elevations:

- The building materials consist of a precast concrete panel for the north, west, and the western portion of the south walls. The panels will be a combination of light gray, dark gray and blue.
- The east wall and the eastern portion of the south wall will be a light gray colored insulated metal wall panel. This is a temporary wall and removed at the time of a future building expansion.
- The northwest corner of the building will serve as the entrance and office area of the building and will have a canopy over the entrance area.
- Staff has no architectural concerns.

Recommend approval with the following conditions:

1. Provision of a landscape bid and adequate surety prior to issuance of a building permit.
2. Revision of the site plan to address technical corrections as identified in the staff review and consistent with the approved storm water management plan.
3. Submission and approval of wall sign permits prior to the installation of the sign.

4. Approval of a storm water management plan prior to the issuance of a building permit.
5. Submission and approval of an erosion control plan consistent with the approved storm water management plan prior to any land disturbing activities.
6. Easements required for existing and proposed storm water features must be added to the Site Plan.

pc: Kim and Rick Kiefer, Kettle Moraine Metal Products
Doug Forton, Design 2 Construct



Attachment: SP-23-007_loc (SP-23-007 KMMP)



Attachment: PC Attachment 2024 Site Plan KMMP re-application (SP-23-007 KMMP)





Attachment: PC Attachment 2024 Site Plan KMMP re-application (SP-23-007 KMMP)



SITE NOTE LEGEND

- 01 HEAVY DUTY ASPHALT
- 02 LIGHT DUTY ASPHALT
- 03 FUTURE PARKING
- 04 OVERHEAD DOOR
- 05 TRASH ENCLOSURE
- 06 CONCRETE APRON
- 07 METAL STORAGE BINS
- 08 40' OF METAL GUARDRAIL
- 09 CONCRETE STOOP
- 10 CONCRETE SIDEWALK
- 11 CONCRETE PATIO
- 12 LIGHT BOLLARD, TYP.
- 13 HANDICAPPED PARKING ONLY SIGN
- 14 CONCRETE FILLED STEEL BOLLARD, SET IN 4' OF CONCRETE AND PAINTED SAFETY YELLOW
- 15 FIRE HYDRANT LOCATION. APPROXIMATELY 500' OF 8" WATER LINE TO HYDRANT
- 16 CANOPY ABOVE
- 17 LIGHT POLE, 20' WITH 2 FIXTURES AND DARK BRONZE COLOR
- 18 GAS AND ELECTRIC METER LOCATIONS
- 19 PROVIDE CONDUIT FOR MONUMENT SIGN LIGHTING
- 20 PROVIDE 3 FLAGPOLES - TWO (2) @ 20' HIGH AND ONE (1) AT 25' HIGH

SITE GENERAL NOTES:

- 1. PROPOSED BUILDING IS ONE STORY.
- 2. DUMPSTER ENCLOSURE TO BE LOCATED AS SHOWN ON PLAN. EXACT SIZE OF DUMPSTER ENCLOSURE TO BE DETERMINED PER OWNER'S REQUIREMENTS.
- 3. SEE GRADING PLAN FOR ALL PROPOSED AND EXISTING CONTOURS AND STORM WATER DRAINAGE PATTERNS.
- 4. SEE LANDSCAPE PLAN FOR ALL PLANTING LOCATIONS.
- 5. ALL EXTERIOR LIGHTING FIXTURES TO BE CUT-OFF TYPE.
- 6. ALL SITE UTILITIES TO BE VERIFIED W/ PROPER AGENCIES PRIOR TO CONSTRUCTION.
- 7. ALL APPROACHES & CULVERTS IN RIGHT-OF-WAY TO BE VERIFIED W/ LOCAL MUNICIPALITY PRIOR TO CONSTRUCTION.



N173 W21010
NORTHWEST PASSAGE WAY
JACKSON, WI 53037

PHONE 262.677.9933
FAX 262.677.9934

info@design2construct.com

FORGE PLACE

SITE DATA:

SITE AREA:	219,015 SF 5.02 ACRES
PHASE 2 TOTAL SITE AREA:	479,160 SF 11 ACRES
AREA OF PROPOSED BUILDING:	40,000 SF (18.3%)
TOTAL BUILDING WITH FUTURE ADDITION:	24,000 SF
TOTAL BUILDING FOOTPRINT:	64,000 SF (29.3%)
TOTAL HARD SURFACE AREA:	49,265 SF (22.5% OF SITE)
CONCRETE AREA:	7,328 SF
HEAVY DUTY PAVING:	33,446 SF
LIGHT DUTY PAVING:	8,491 SF
GREENSPACE:	105,750 SF (48.2%)
LINEAL FEET OF CURB:	620 L.F.
ZONING DISTRICT:	M-2
ALLOWABLE BUILDING HEIGHT:	65'-0"
BUILDING HEIGHT:	30'-0"
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
TOTAL PARKING PROVIDED:	34 (INCL. H.C. STALLS)
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
FUTURE PARKING STALLS:	28

BUILDING DESIGN FOR:
KETTLE MORaine METAL PRODUCTS
 FORGE PLACE
 WEST BEND, WI

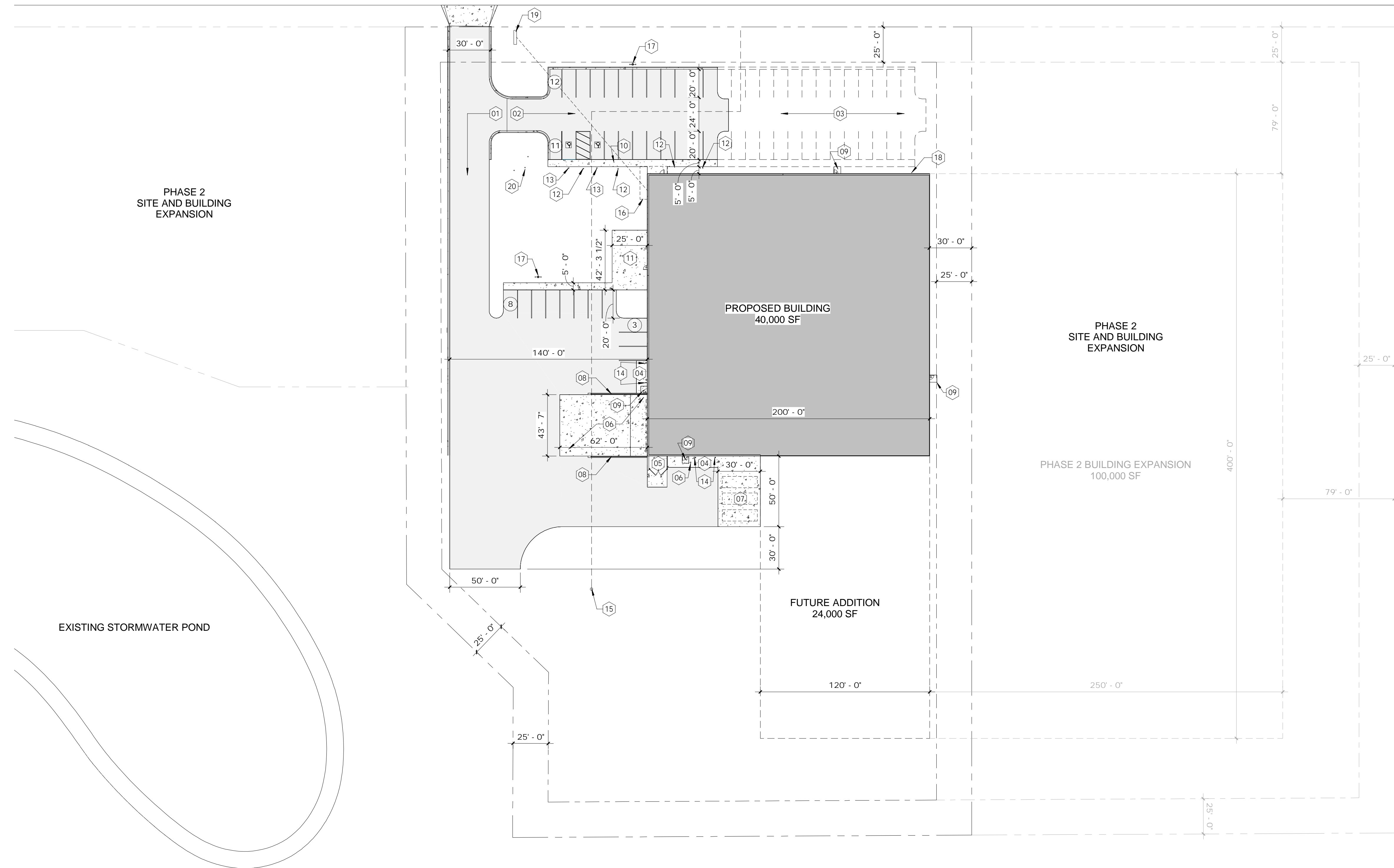
SHEET TITLE
ARCHITECTURAL SITE PLAN

REVISIONS

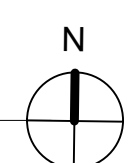
PROJECT DATA	
DATE	2.15.2024
JOB NO.	22-00225
SET USE	PRELIMINARY
DRAWN BY	DJF
SHEET NO.	

A1.0

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1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 40'-0"



CONSTRUCTION NOTE LEGEND

- 01 14' x 14' INSULATED OH DOOR
- 02 TRASH ENCLOSURE WITH PVC GATES AND FENCE
- 03 LOADING DOCK EQUIPMENT INCLUDING HYDRAULIC DOCK LEVELER, DOCK SEALS, AND AUTOMATIC INSULATED, 9Wx10H, OH DOORS
- 04 6" CONCRETE SLAB WITH 10 MIL VAPOR BARRIER AND FIBER REINFORCING
- 05 CATCH BASIN
- 06 8'W x 10'H - HIGH LIFT TRACK OH DOOR
- 07 DOUBLE BASIN UTILITY SINK
- 08 WORKSTATIONS - BY OWNER
- 09 FURNITURE - BY OWNER
- 10 REFRIGERATOR - BY OWNER
- 11 SHOP OFFICE TO HAVE A GYP BOARD LID AT 12' - SPACE ABOVE OFFICE IS NOT TO BE USED FOR STORAGE

CONSTRUCTION NOTES:

GENERAL:

ALL GYPSUM WALLBOARD IS TO BE 5/8" THICK (UNLESS NOTED OTHERWISE), IN LONGEST LENGTHS AVAILABLE, SCREW ATTACHED TO STUDS OR FURRING. ALL METAL STUDS AND FURRING ARE TO BE 25 GAUGE (MIN.), AND SPACED 24" O.C. (MAX.). PROVIDE METAL CORNER BEADS AND USG NO. 200B METAL TRIMS AT ALL EXPOSED WALLBOARD EDGES. TAPE AND FINISH ALL JOINTS, EVEN IF NOT EXPOSED TO VIEW.

PROVIDE MOISTURE-RESISTANT GYPSUM WALLBOARD AT ALL WET AREAS (LUNCH ROOM, TOILET ROOMS, ETC.), AND IN STORAGE ROOM B19.

ALL SINGLE-FACED PARTITIONS ARE TO EXTEND TO 4" (MIN.) ABOVE THE ADJACENT CEILING LINE. PROVIDE LATERAL BRACING TO STRUCTURE ABOVE, OR TIE BACK TO MASONRY WALLS.

ALL COMPONENTS OF DOUBLE-FACED PARTITIONS ARE TO EXTEND TO PRECAST CONCRETE PLANK ABOVE CEILING, UNLESS NOTED OTHERWISE. ALL PENETRATIONS IN SUCH PARTITIONS SHALL BE INSULATED OR CAULKED SO AS TO MINIMIZE SOUND TRANSMISSION.

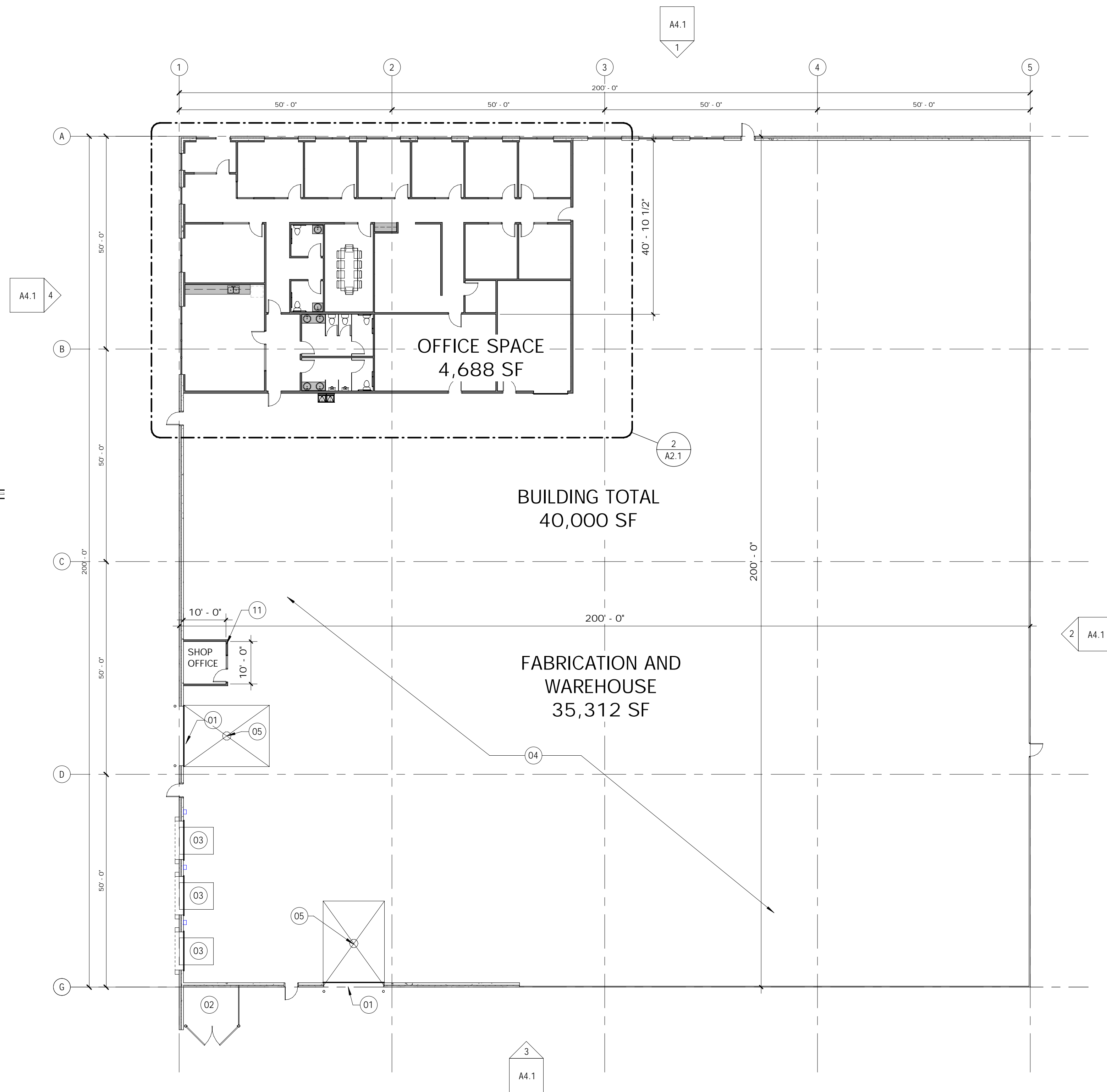
ALL PARTIAL HEIGHT PARTITIONS ARE TO EXTEND TO HEIGHT (INDICATED IN INCHES) ADJACENT TO CONSTRUCTION NOTE. HEIGHT INDICATED IS TO TOP OF WOOD CAP (AT BASEMENT) OR TOP OF GWB (AT FIRST FLOOR).

ALL DOUBLE-FACED PARTITIONS (FULL OR PARTIAL HEIGHT) ARE TO BE INSULATED WITH FULL THICKNESS SOUND INSULATION BATTS. SOUND INSULATION IS TO EXTEND TO FULL HEIGHT OF WALL.

ALL DOUBLE STUD PARTITIONS ARE TO HAVE 5/8" GYPSUM WALLBOARD GUSSETS (8" WIDE) SCREW ATTACHED TO ROWS OF STUDS AT 4'-0" O.C. (MAX. VERTICALLY) FOR PARTITION STABILITY.



2 1ST FLOOR PLAN - ENLARGED OFFICE
SCALE: 1/8" = 1'-0"



1 1ST FLOOR PLAN - OVERALL
SCALE: 1/16" = 1'-0"

BUILDING DESIGN FOR:
KETTLE MORAINÉ METAL PRODUCTS

FORGE PLACE
WEST BEND, WI

SHEET TITLE
FIRST FLOOR PLAN - OVERALL

REVISIONS

PROJECT DATA	
DATE	2.15.2024
JOB NO.	22-00225
SET USE	PRELIMINARY
DRAWN BY	DJF
SHEET NO.	

A2.1

BUILDING DESIGN FOR:
KETTLE MORaine METAL PRODUCTS
FORGE PLACE
WEST BEND, WI

SHEET TITLE
EXTERIOR ELEVATIONS

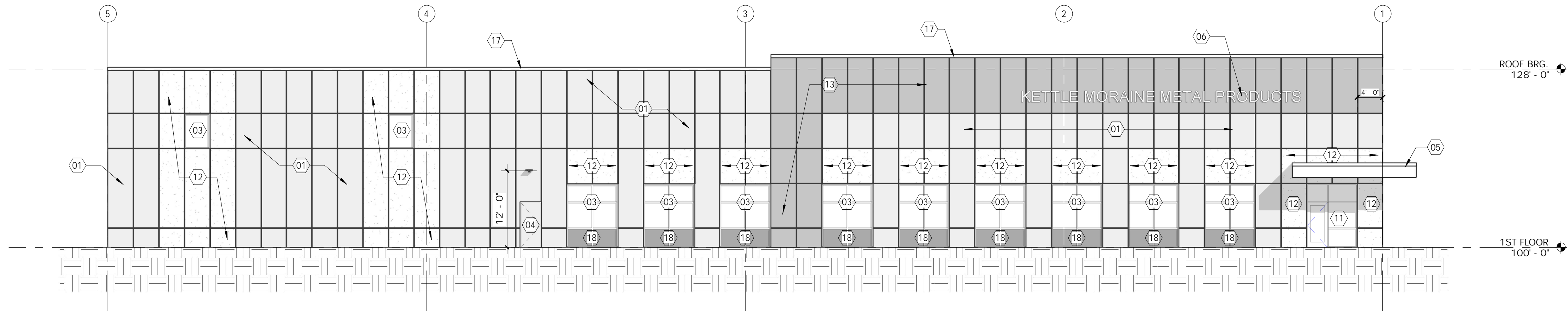
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JOB NO.	22-00225
SET USE	PRELIMINARY
DRAWN BY	DJF
SHEET NO.	

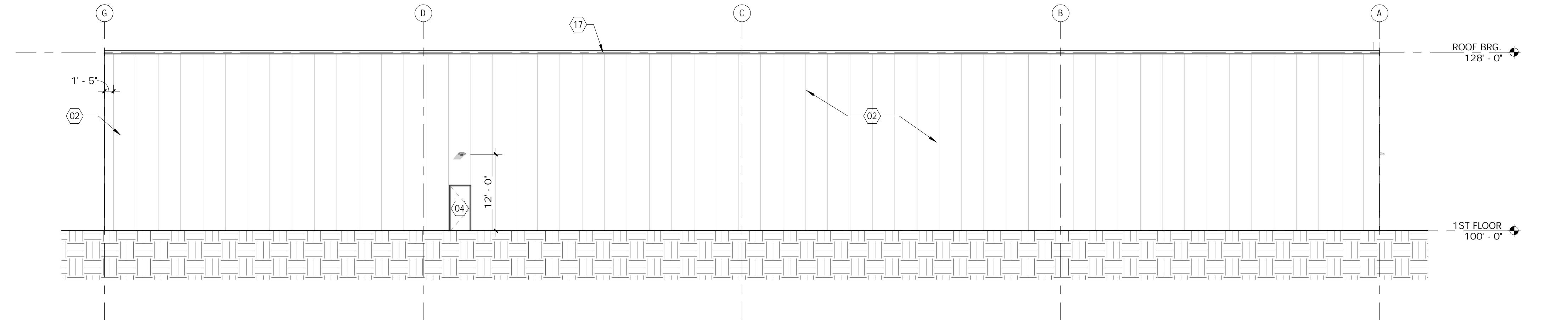
A4.1

ELEVATION NOTE LEGEND

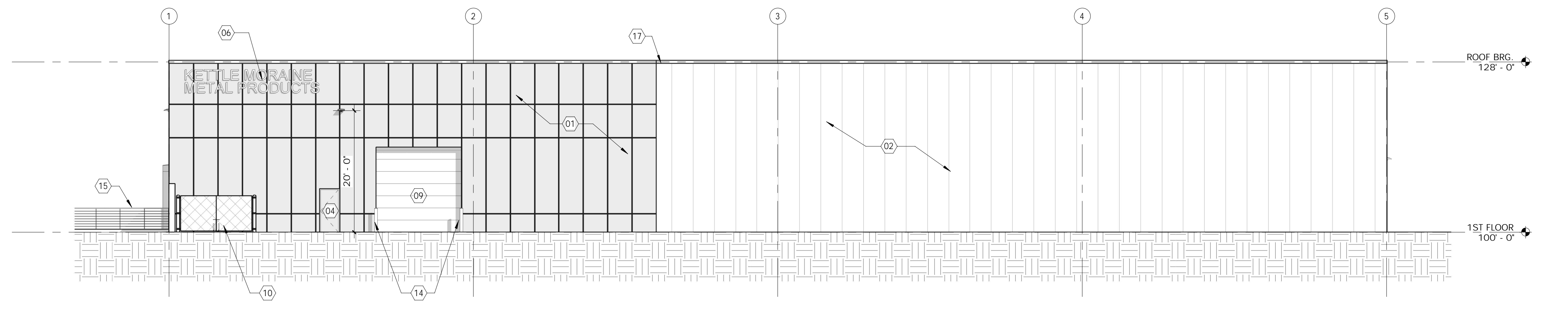
- 01 PRECAST CONCRETE WALL - COLOR LIGHT GRAY
- 02 INSULATED METAL PANEL WALL - LIGHT GRAY
- 03 BLACK ALUMINUM STOREFRONT FRAMING WITH TINTED INSULATED GLASS
- 04 HOLLOW METAL DOOR
- 05 ENTRANCE CANOPY WITH BLACK METAL PANEL AND SOFFIT
- 06 BUILDING SIGNAGE BY OWNER
- 07 9' x 10' DOCK DOORS
- 08 DOCK LEVELER, BUMPERS AND ENCLOSURE
- 09 14' x 14' INSULATED OVERHEAD DOOR
- 10 PVC TRASH ENCLOSURE GATE / FENCE 6' HIGH
- 11 BLACK ALUMINUM FRAMING AND ENTRANCE DOOR WITH TINTED INSULATED GLASS
- 12 PRECAST CONCRETE WALL - COLOR DARK GRAY
- 13 PRECAST CONCRETE WALL - COLOR BLUE
- 14 CONCRETE FILLED PIPE BOLLARDS, WITH YELLOW POLYCARBONATE COVERS
- 15 STEEL GUARDRAIL - PAINTED
- 16 CONCRETE RETAINING WALL
- 17 PREFINISHED STEEL ROOF EDGE
- 18 BLACK ALUMINUM STOREFRONT FRAMING WITH SPANDREL GLASS



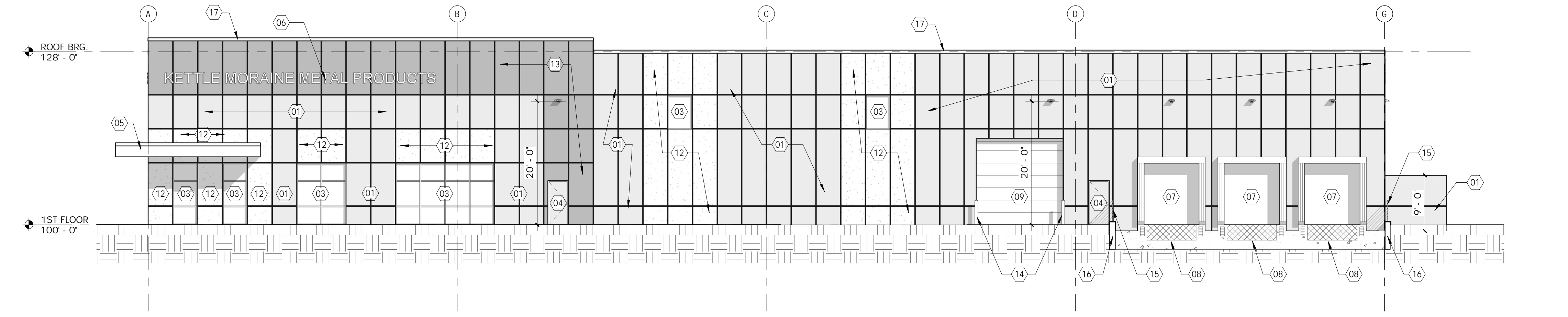
1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"

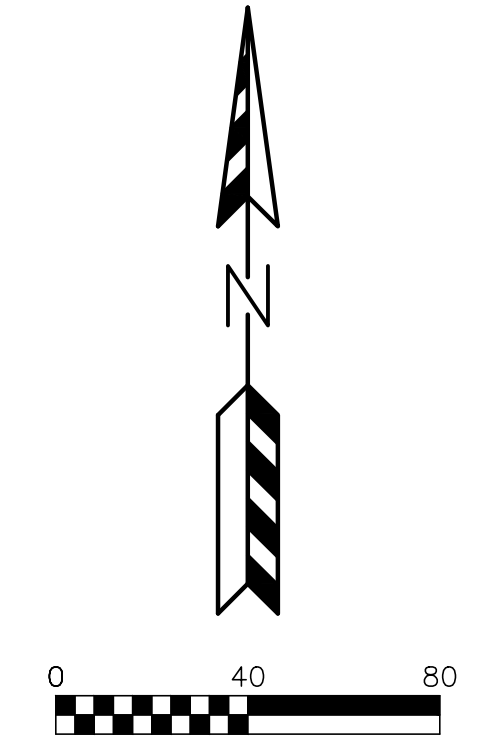
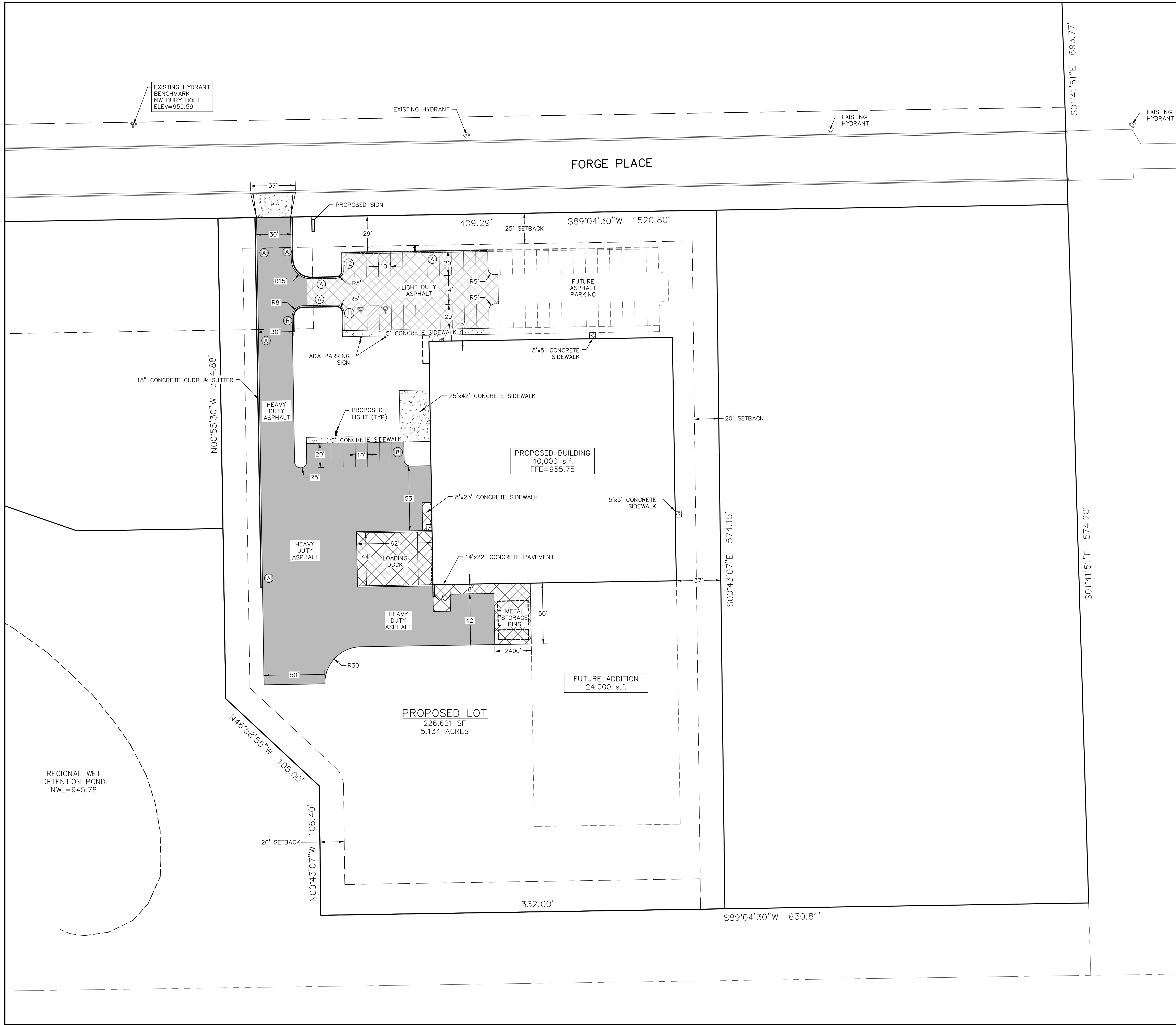


3 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



4 WEST ELEVATION
SCALE: 3/32" = 1'-0"

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- LEGEND:**
- (P) - PARKING STALLS IN A ROW
 - (R) - REJECT CURB
 - (A) - ACCEPT CURB

SITE INFORMATION BLOCK	
Site Address	FORGE PLACE
Site acreage (total)	5.134 ACRES
Existing Impervious Area	0.0 ACRES
Area of Disturbance	3.24 ACRES
Current Zoning	M-2
Setbacks Building/Pavement	
Front	25'
Side	20'
Rear	25'
Surface Coverage Total:	
Impervious	85,617 SQ FT (1.97 Acres)
Future Impervious	33,715 SQ FT (0.77 Acres)
Pervious	104,289 SQ FT (2.39 Acres)
Total	223,621 SQ FT (5.13 Acres)
Impervious Percentage	53.4%

- SITE PLAN NOTES:**
- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - WHERE CURB ENDS AT CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
 - ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

PAVING LEGEND

	HEAVY DUTY ASPHALT PAVEMENT 10" CRUSHED AGGREGATE BASE COURSE 3" ASPHALTIC BINDER 3 MT 58-28 S 2" ASPHALTIC SURFACE 4 MT 58-28 S
	LIGHT DUTY ASPHALT PAVEMENT 8" CRUSHED AGGREGATE BASE COURSE 1 3/4" ASPHALTIC BINDER 4 LT 58-28 S 1 1/4" ASPHALTIC SURFACE 5 LT 58-28 S
	CONCRETE SIDEWALK 6" CRUSHED AGGREGATE BASE COURSE 4" CONCRETE
	CONCRETE PAVEMENT 6" CRUSHED AGGREGATE BASE COURSE 6" CONCRETE

REVISIONS:

NO.	DATE	DESCRIPTION



PROJECT TITLE:
**KETTLE MORAIN
METAL PRODUCTS
FORGE PLACE
WEST BEND, WI**

PLAN TITLE:
**PROPOSED
SITE PLAN**

DRAWN BY:
KJP

DESIGNED BY:
KJP

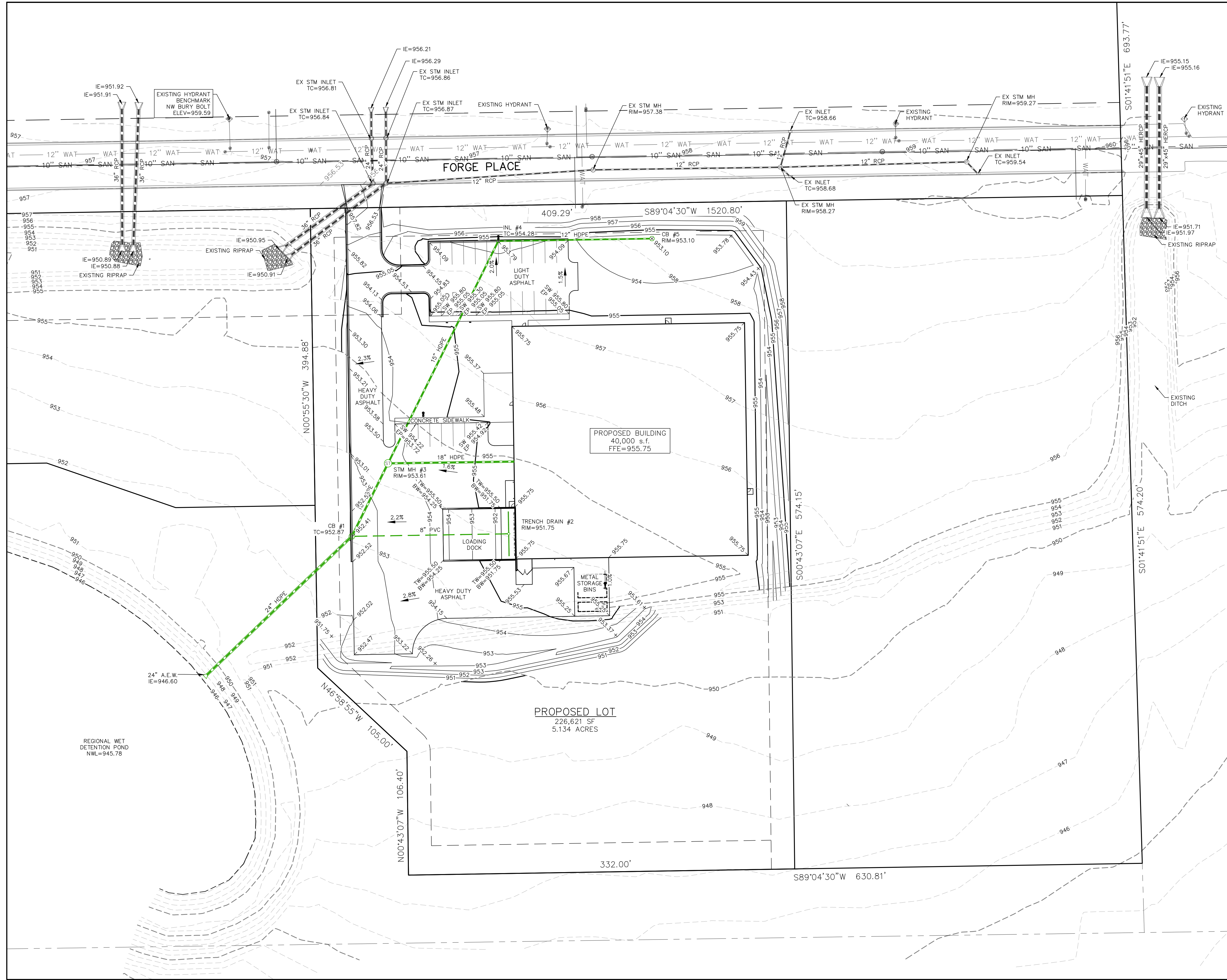
CHECKED BY:
KJP

PLAN DATE:
03/01/2024

PROJECT NO:
\DE-137-23

SUBMITTAL

SHEET NO:
C1.02



- LEGEND:**
- - - 936 - - - EXISTING MINOR CONTOUR.
 - - - 935 - - - EXISTING MAJOR CONTOUR.
 - - - 936 - - - PROPOSED MINOR CONTOUR.
 - - - 935 - - - PROPOSED MAJOR CONTOUR.
 - EX 934.23 - EXISTING SPOT ELEVATION.
 - 934.23 - PROPOSED CURB FLANGE ELEVATION.
 - TC 934.23 - PROPOSED TOP OF CURB ELEVATION.
 - SW 934.23 - PROPOSED SIDEWALK ELEVATION.
 - EP 934.23 - PROPOSED EDGE OF PAVEMENT ELEVATION.
 - EXP 934.23 - PROPOSED BUILDING EXPOSURE ELEVATION.
 - FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
 - - - - - PROPOSED STORM SEWER.
 - - - - - EXISTING STORM SEWER.

NO.	DATE	DESCRIPTION

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800
 www.parishse.com

PROJECT TITLE:
**KETTLE MORaine
 METAL PRODUCTS
 FORGE PLACE
 WEST BEND, WI**

PLAN TITLE:
**GRADING
 PLAN**

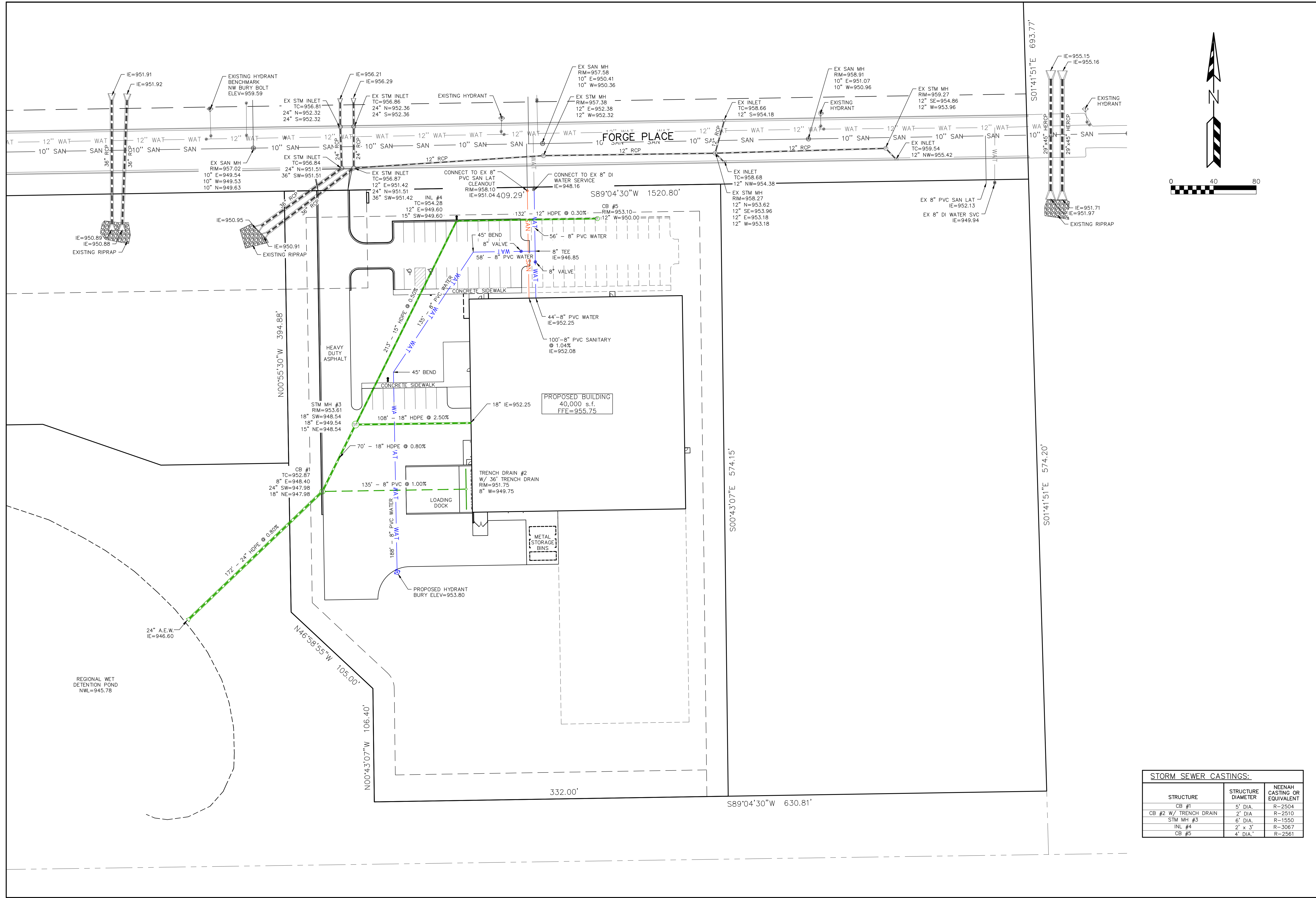
DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
03/01/2024

PROJECT NO:
 \DE-137-23\

SUBMITTAL

SHEET NO:
C1.04



REVISIONS:

NO.	DATE	DESCRIPTION

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800
 www.parishse.com

PROJECT TITLE:
**KETTLE MORAIN
 METAL PRODUCTS
 FORGE PLACE
 WEST BEND, WI**

PLAN TITLE:
**UTILITY
 PLAN**

DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
03/01/2024

PROJECT NO:
 \DE-137-23\

SUBMITTAL

SHEET NO:
C1.05

PROJECT:
KETTLE MORaine
METAL PRODUCTS

LOCATION:
FORGE PLACE
WEST BEND, WI

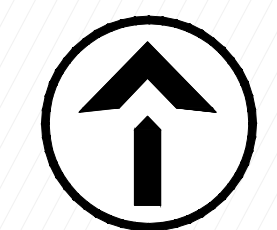
CLIENT:

RELEASE:
PLAN COMMISSION
SUBMITTAL

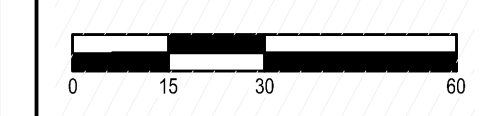
REVISIONS:

#	DATE	DESCRIPTION

NORTH ARROW:



SCALE: 1" = 30'



SEAL:

all in

SHEET:
SITE LANDSCAPE
PLAN

PROJECT MANAGER: BB
PROJECT NUMBER: 23.0282.01
DATE: 03/01/2024

SHEET NUMBER:

L101

ABBREVIATIONS

ABBREVIATION	FULL WORDS
B&B	Balled and burlapped
CAL	Caliper
DBH	Diameter at breast height (Tree trunk diameter measured 4' above finish grade)
DIA.	Diameter
EX.	Existing
HTT	Height to tip
O.C.	On center
SQ. FT. -or- SF	Square feet
TR	Tree
VF	Verify in the field

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

HATCH LEGEND

	PROJECT LIMITS
	AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" TOPSOIL, LAWN GRASS SEED, FERTILIZER, AND MULCH (TYP). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
	(10)HEPM
	PLANT "CODE" REFERENCES TO THE PLANT SCHEDULE
	QUANTITY OF PLANTS IN THE PLANT GROUPING
	LEADER LINE
	PLANT SYMBOL (SYMBOL VARIES)

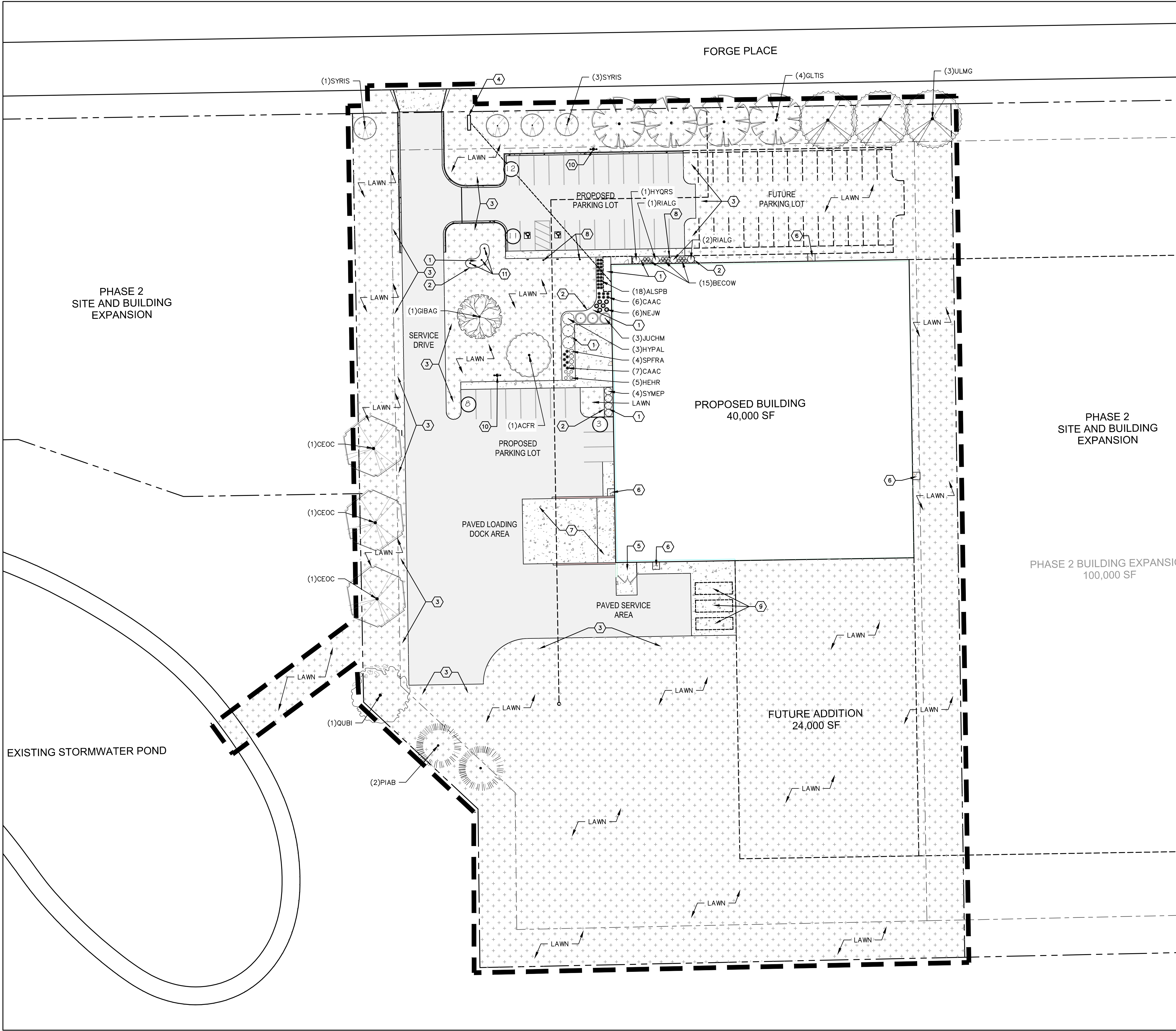
KEY INDEX

1	SHREDDED HARDWOOD MULCH ON TYPAR WEED BARRIER FABRIC	7	L201
2	HEAVY GRADE VINYL EDGING AT PLANTING BED	8	L201
3	SNOW STORAGE AREA		
4	BUILDING MONUMENT SIGN (BY OTHERS- SEE ARCHITECTURAL DRAWINGS)		
5	DUMPSTER ENCLOSURE (BY OTHERS- SEE ARCHITECTURAL DRAWINGS)		
6	STOOPS (BY OTHERS- SEE CIVIL AND ARCHITECTURAL DRAWINGS)		
7	LOADING DOCK (BY OTHERS- SEE CIVIL DRAWINGS)		
8	BOLLARD LIGHT (BY OTHERS- SEE SITE LIGHTING PLAN)		
9	METAL STORAGE BINS (BY OTHERS- SEE CIVIL DRAWINGS)		
10	LIGHT POLE (BY OTHERS- SEE SITE LIGHTING PLAN)		
11	FLAG POLES (BY OTHERS- SEE CIVIL DRAWINGS)		

INFORMATION SHOWN ON THIS DRAWING IS BASED ON AN ARCHITECTURAL SITE PLAN COMPLETED BY OTHERS. THE LANDSCAPE ARCHITECT MAKES NO WARRANTIES OR REPRESENTATIONS AS TO THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION. THE LOCATION OF SITE UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. NOTIFY THE ARCHITECT WHEN THERE ARE CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED TREES, SHRUBS AND PERENNIALS. ADJUST PLANT LOCATIONS TO AVOID EXISTING UTILITIES AS DIRECTED BY THE ARCHITECT. ALL INFORMATION SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR.

LANDSCAPE SHEET INDEX

L101	SITE LANDSCAPE PLAN
L201	PLANT SCHEDULE & LANDSCAPE DETAILS
L202	SITE LANDSCAPE NOTES





MEMORANDUM

To: Plan Commission

From: James Reinke, Business & Development Planner

Date: March 28, 2024

Subject: Discussion and recommendation to set a public hearing for a change in the recommended land use from Commercial, Two-Family Residential, and Multi-Family Residential to Industrial, Single-Family Residential, Two-Family Residential and Multi-Family Residential in the 2020 Comprehensive Plan for the City of West Bend for approximately 19 acres of land located approximately 600' east of S. Main Street, and south of W. Progress Drive by City of West Bend Department of Development.

The Department of Community Development is requesting that the Plan Commission consider a land use change for the City's 2020 Comprehensive Plan for approximately 19 acres of land located approximately 600' east of S. Main Street and on the south side of W. Progress Drive Road. The 19-acre property has recently changed ownership and the new property owner would like to develop the property with a slightly different land use pattern. The purpose of the change to the comprehensive plan is to facilitate the development of land that was brought into the City as a part of the previous boundary agreement between the City and Town of West Bend in 2002.

The 19-acre property is currently identified as commercial along W. Progress Drive and then transitions to multi-family residential and two-family residential to the south and east in the City's 2020 Comprehensive Plan. The commercial land use in the northern area originally represented the existing uses surrounding the property. The proposed industrial land use along the northern portion is an appropriate land use consideration due to the other intensive commercial uses to the north and the light industrial uses to the east and northeast. This land use change would also be consistent with the recently changed land use and zoning to the immediate west of this 19-acre property. The original residential land uses were an anticipated to transition from the other surrounding uses. There was no set development pattern for the residential uses and the existing land use offered some flexibility for a potential developer. The request to modify the two-family residential land use to single-family land use along the eastern portion of the 19-acre property is consistent with the existing residential development to the east. The proposed land use change of the multi-family residential to two-family residential and then transitioning to the multi-family use would be appropriate for the area.

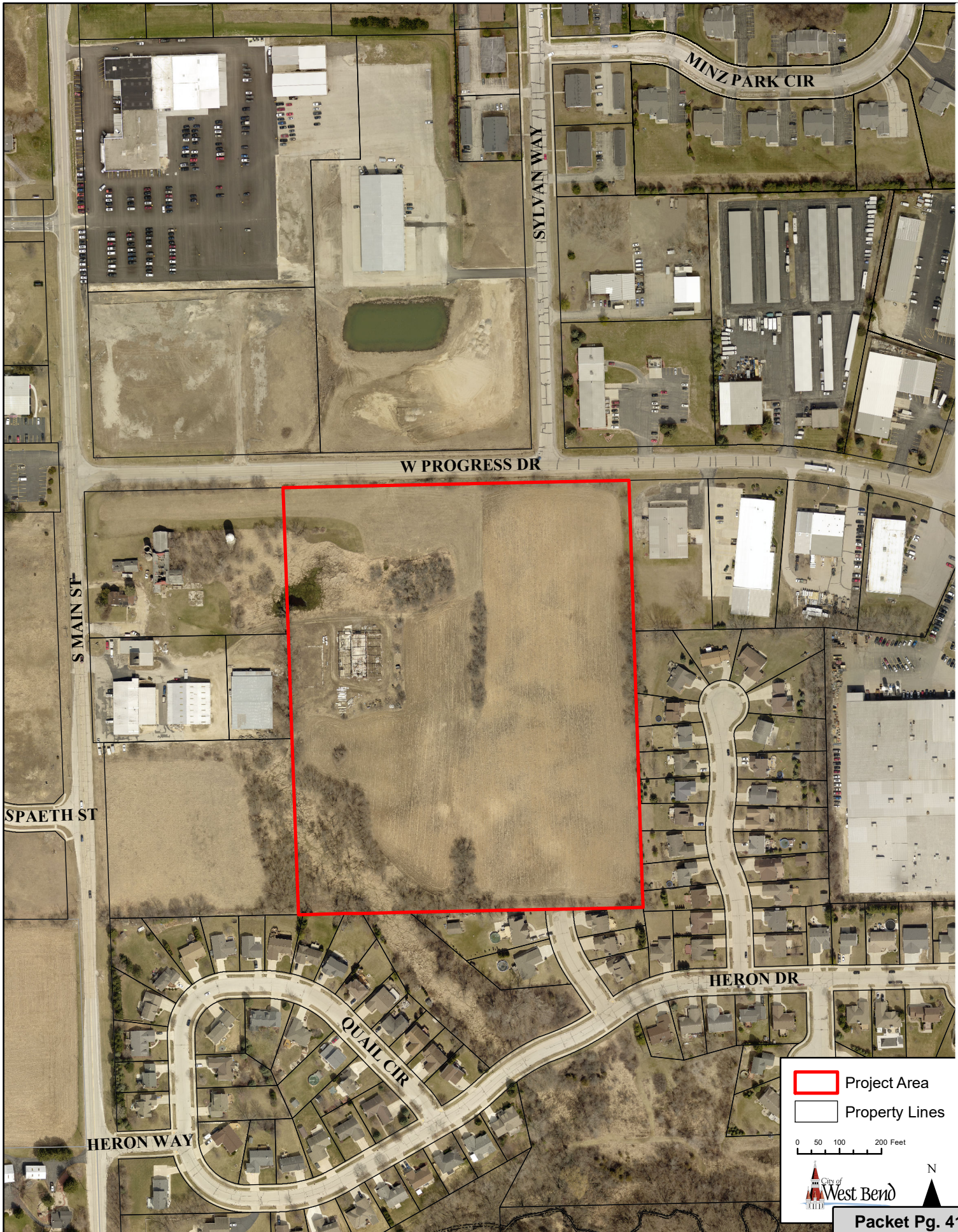
Staff believes that a change in land use designation to industrial and the modified residential uses could be appropriate to foster the development of the remaining lands and to expand the adjacent industrial park.

The 19-acre property within this area of consideration is currently zoned “Temporary”. The property further east is zoned M-3 Planned Business Park. The property to the north is zoned B-4 General Business & Warehousing District and the property to the west is zoned B-1 Community Business District. Permanent zoning for the 19 acres has never been designated due to the uncertainty of the exact land uses and the previous owners lack of development proposals. If the land use change is found to be acceptable, staff would request the rezoning of the northern portion of the property to M-3 Planned Business Park District consistent with the property to the west and east in the south industrial park. For the remaining property, staff would recommend RM-4 Multi-Family Residential, RD-2 Two-Family Residential and RS-4 Single-Family Residential for the southern portion of the site. The various residential uses would transition appropriately from the other proposed and existing uses. Prior to the zoning change consideration, the change to the 2020 Comprehensive Plan is required.

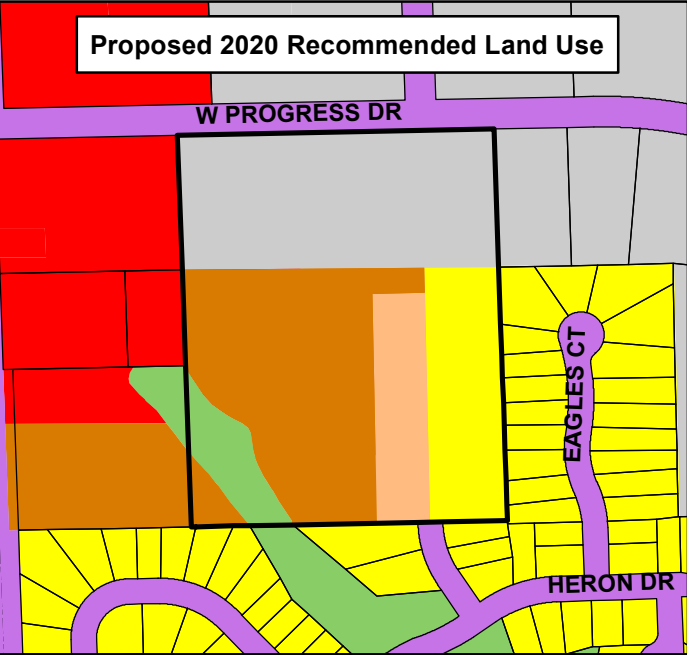
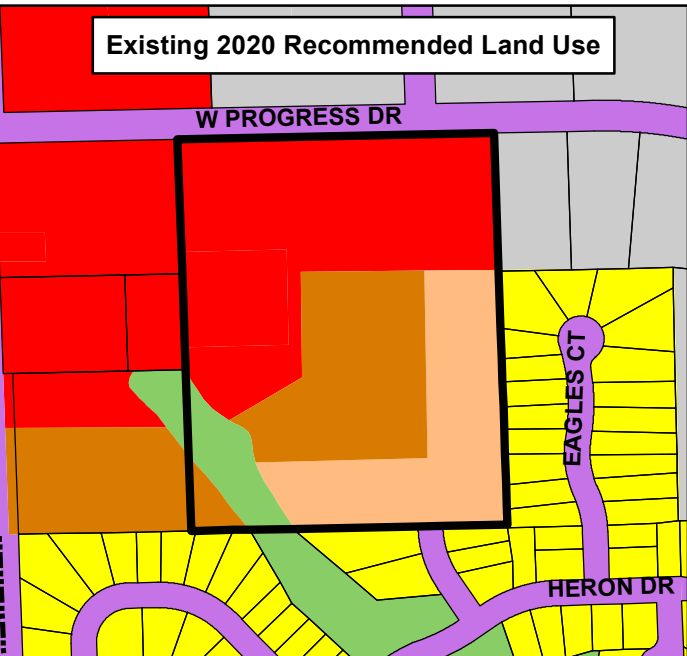
Staff has reviewed the surrounding land uses and feels that the industrial land use designation and the modified residential land uses could be a compatible use and consistent with the existing surrounding uses. The auto sales lot and the commercial uses to the north and the existing residential uses to the south and east reflect this compatibility. The proposed industrial use and various residential uses could be an appropriate use in the area.

If the Plan Commission finds the proposal to be acceptable, staff would recommend that a public hearing be set for May 7, 2024 at the 6:00 p.m. Plan Commission meeting to hear any concerns pertaining to the land use change for the 2020 Comprehensive Plan for the City of West Bend. At the same meeting a second public hearing will be held for the rezoning of the properties from Temporary to M-3 Planned Business Park District, RS-4 Single-Family Residential, RD-2 Two-Family Residential and RM-4 Multi-Family Residential.

COMP PLAN #28



Attachment: CompPlan28_Loc (COMP PLAN-28 Former Minz Lands)

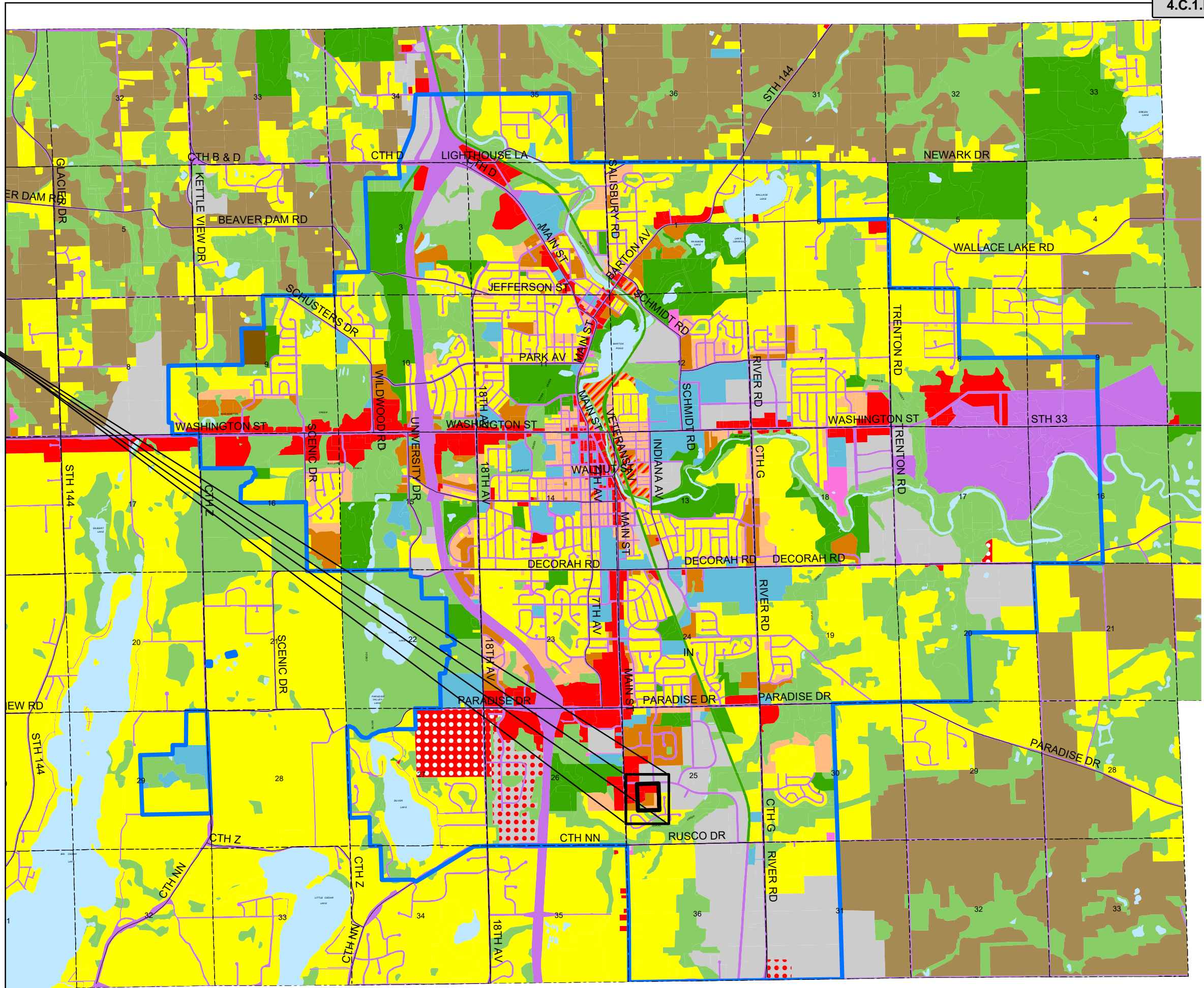


Amendment #28 to Map 7-3 Proposed Land Use in the City of West Bend Planning Area: 2020

Subject Area	Business Park
Urban Service Boundary	Transportation
Property Boundary	Communications & Utilities
Single-Family Residential	Government & Institutional
Two-Family Residential	Agricultural
Multi-Family Residential	Landfills
Commercial	Recreational
Office Park	Open Space
Mixed Use	Surface Water
Industrial	

N

G:\Projects\DEPTSPECIFIC\DCD\LandDevelopment\LocationMaps\2024\LU2020_28_ProgressDr.mxd



Attachment: Land Use Map (COMP PLAN-28 Former Minz Lands)



MEMORANDUM

To: Plan Commission

From: James Reinke, Business & Development Planner

Date: March 28, 2024

Subject: Discussion and recommendation to set a public hearing for a change in the recommended land use from Institutional to Commercial in the 2020 Comprehensive Plan for the City of West Bend for approximately 2.4 acres of land located at 320 and 340 South 5th Avenue by City of West Bend Department of Development.

The Heritage Tower group has submitted a request to the Department of Development for the plan commission to consider a comprehensive land use plan change and a zoning change for approximately 2.4 acres of land located at 320 and 340 S. 5th Avenue.

The request is to consider a change in land use from the existing institutional land use designation to commercial land use. The proposal is to recognize the current use as a museum and an event center. The land was previously owned by Washington County and has changed ownership to a not-for-profit entity. The existing buildings are still used as a museum, and the use has expanded to include event space to be rented to various individuals. The land use change will also facilitate the rezoning of the property to commercial to facilitate the current use of the museum and the event space.

The surrounding existing land uses include the following; single and two-family residential to the south, institutional to the east and a mixture of commercial and single-family residential to the north. Given the surrounding existing uses, a commercial land use designation could be an appropriate alternative.

If the comprehensive plan land use change is endorsed by the Plan Commission, a zoning amendment is needed to rezone the parcel from I-1 Institutional and Public Service District to B-2 Community Business District.

If the Plan Commission finds the proposal to be acceptable, staff would recommend that a public hearing be set for May 7, 2024 at the 6:00 pm. Plan Commission meeting to hear any concerns pertaining to the land use change for the 2020 Comprehensive Plan for the City of West Bend. At the same meeting, a second public hearing could be held for the rezoning of

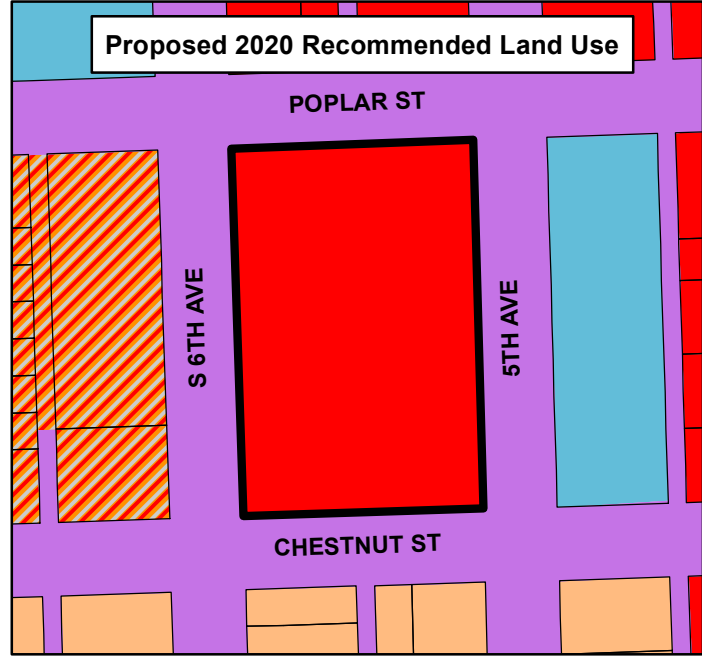
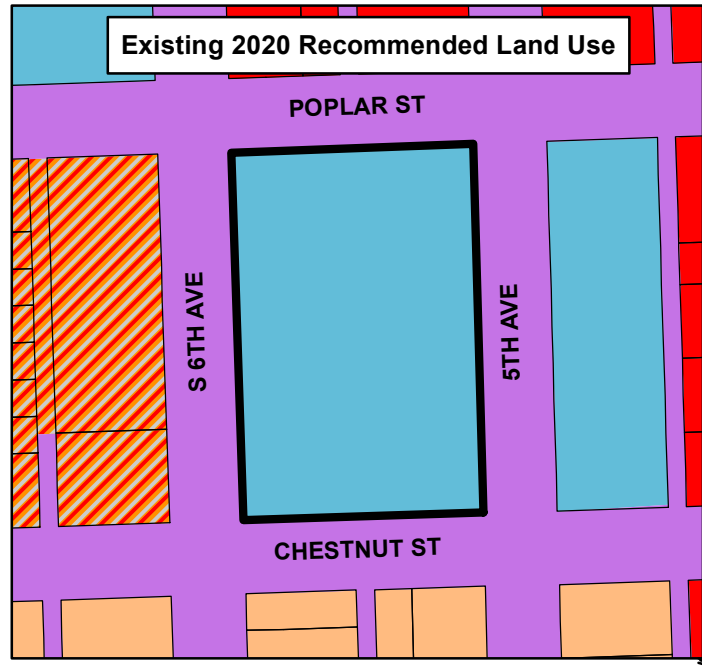
the parcel from I-1 Institutional and Public Service District to B-2 Community Business District.

pc: Steve Stuckey, Executive Director and Architectural Conservator

COMP PLAN #29

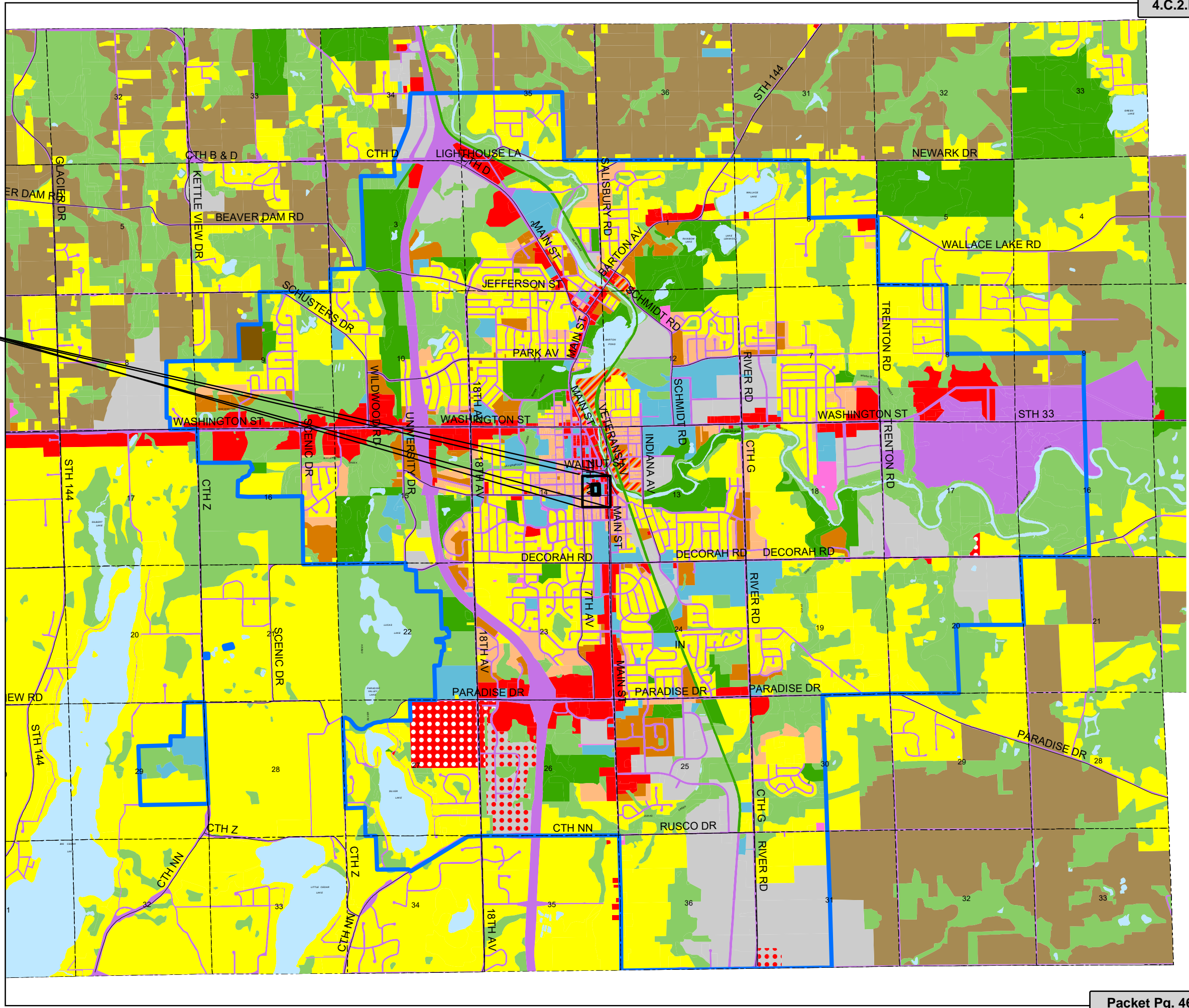


Attachment: CompPlan29_Loc (COMP PLAN-29 Heritage Tower Center)



**Amendment #29 to Map 7-3
Proposed Land Use in the
City of West Bend Planning Area: 2020**

Subject Area	Business Park
Urban Service Boundary	Transportation
Property Boundary	Communications & Utilities
Single-Family Residential	Government & Institutional
Two-Family Residential	Agricultural
Multi-Family Residential	Landfills
Commercial	Recreational
Office Park	Open Space
Mixed Use	Surface Water
Industrial	



Attachment: Land Use Map (COMP PLAN-29 Heritage Tower Center)